



ARCHITECTS
INC.



New FAX: (1 847) 2361.0522

TASSONE architects inc
1225 Norman Lane
Deerfield, Illinois 60015-3115

REPORT OF CRITICAL EXAMINATION FOR MAINTENANCE AND REPAIRS OF EXTERIOR WALLS AND ENCLOSURES



200 MAIN Street

WEST CHICAGO, ILLINOIS, 60185-2837

PREPARED FOR:
A. C. B. MASONRY
P. O. Box 2267
Glen Ellyn, Illinois, 60138
1.630.886.7190 voice

PREPARED BY:
ROBERT J. T. TASSONE
TASSONE ARCHITECTS, Inc.
1225 Norman Lane
Deerfield, Illinois, 60015-3115
1.312.502.1354 voice
1.847.236.0522 fax

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TASSONE ARCHITECTS, Inc.

Report of Critical Examination / 2015 **200 MAIN Street, West Chicago**

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REPORT OF CRITICAL EXAMINATION FOR MAINTENANCE AND REPAIRS OF EXTERIOR WALLS AND ENCLOSURES

200 MAIN STREET / MASONRY BUILDING

Report Submittal Date: September 20, 2015

The following is a Critical Inspection Report on a Critical Examination of all Exterior Wall Elevations of the 200 Main Street Building, West Chicago, Illinois, 60185 performed by TASSONE ARCHITECTS, Inc. (TA).

Pursuant to a request and authorization from the Client, **A. C. B. Masonry (ACB)**, dated 28.JULY.2015, we have observed the following conditions at the **200 Main Street Building**, Three (3) Story Building (Main Street) with a One (1) Story Lower Level (Turner Court). The purpose of this Critical Examination Inspection, made from a Telescopic Boom Lift, was to evaluate the condition of the **Masonry Exterior Façade** submitted in general compliance with General Construction Practices for Exterior Wall Maintenance.

The Building is in a ***“safe with a repair and maintenance program condition”*** Condition, at the time of the Critical Examination. The objective of all maintenance should be to limit deterioration through early intervention.

The following records our findings.

Authorization for said Report was provided by Robert Tassone, Illinois Licensed Architect, TASSONE ARCHITECTS Inc., 1225 Norman Lane, Deerfield, Illinois 60015. This Critical Examination Report summarizes the results of our findings, identifies areas of concern if identified, and recommends various methods to repair conditions identified as necessary.

NOTE: Accompanying Photographs can be found at the end of this Report for General Views of the Building Exterior.

INTRODUCTION

EXECUTIVE SUMMARY

We have observed the following conditions at the three (3) story Building, with one (1) Lower Level, (Turner Court) located at 200 Main Street. Our Office has completed extensive close-up visual exterior Building examinations from a Telescopic Boom Lift at 200 Main Street for A.C. B. Masonry (ACB). The close-up visual examination consisted of touching those portions of the Exterior Wall reachable by hand or tool while utilizing a Telescopic Boom Lift spanning each exposed Exterior Elevation. Masonry was sounded with a Mason's hammer and felt for vibration as an indication of interior cracks. A close-up visual examination of each Corner was also reviewed on each Elevation.

The purpose of these examinations was to evaluate the conditions of the Building components in order to identify and recommend any necessary repairs. The Exterior Wall

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INTRODUCTION

EXECUTIVE SUMMARY (continued)

Areas were inspected on the North, South, East and West Elevations, from the Ground Floor to the Roof. The North and South Elevations are partially obstructed by adjacent constructed buildings. In addition, on every Elevation (North, South, East, and West) a minimum of three (3) Temporary Investigative Opening (TIO) was cut into the Exterior masonry in order to verify the condition of the existing substrate of typical Wall areas.

This three (3) Story Building (Main Street) with a One (1) Story Lower Level (Turner Court), masonry clad Building was built circa 1880. Today the Building consists of Retail on the First Floor and vacant space and related functions on the remaining Floors. The Building stands at Main Street and Turner Court.

The Main Entrance to the Building is located in the middle of the East façade (Main Street) with access to the Upper Floors to the North (Main Street). The Building is essentially rectangular shaped in Plan. It is bounded on the North and South by a multi-story Building that butts against it. Ground Level on the West side of the Building is at the Lower Level, assuming Main Street Level is the First Floor. The Masonry Chimney (North Elevation) has been lowered and rebuilt.

The Exterior cladding for the North, South, East and West Elevations are composed of 100 % masonry, including Window Arch Headers. The Parapet (All Elevations) is a masonry Corbel-Table with masonry Dentils in the Bed Mould of the Cornice. The Southwest Corner has been previously rebuilt and is currently deteriorated. There is a metal Fire Escape attached to the Building's West (Turner Court) façade.

The Structure of the Building is a continuous vertical section of masonry three (3) wythe in thickness. The Exterior walls are load bearing for the Post and Beam Frame Construction. Existing wood heavy timber Floor support beams and large dimension heavy timber columns (Post and Beam Frame Construction) support the wood floors and divide the space into Bays. REF 1: *The International Building Code, 2009 / Section 602.4 Type IV.*

Type IV construction (Heavy Timber, HT)

The windows are a punched opening within the masonry multiple wythe wall. The existing exterior window head is a curved masonry segmental arch with two (2) rowlock header courses. The original windows were wood double hung style (two over two panel window) and are currently replacement aluminum double hung style windows. The Existing window Sills are Sandstone. The Existing Parapet Cap is Limestone. All of the Sandstone Sills are deteriorated. Multiple locations of the Limestone Parapet are deteriorated.

OBSERVED CONDITIONS

The North, South, East and West façades of the 200 Main Street Building exhibit some signs of masonry distress. The Building is in a ***"safe with a repair and maintenance program condition"*** Condition at the time of the 2015 Critical Examination.

Maintenance Repairs are required at the time of the 2015 Critical Examination.

A significant amount of water had previously infiltrated the Building at a typical location, such as the Floor 3 Parapet (Southwest Corner, Turner Court), masonry Stress Crack, Floor 3, North, (West Elevation, Turner Court), masonry Arch Distress, Floor 2, South (West Elevation, Turner Court), and Deteriorated Repair, Floor 1 above grade @ Fire Escape. All Elevations of the Existing Sandstone Window Sills (possibly from Illinois

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OBSERVED CONDITIONS (continued)

quarries) are in a deteriorated condition. Many Existing Limestone Caps (possibly from Illinois quarries) are in a deteriorated condition such as the North, South, and West Elevations. The Existing joints for the East Elevation Limestone Caps should be pointed. In addition due to differential movement the Turner Court Southwest Corner exhibits extensive deterioration including the Floor 2 masonry arch (adjacent to the South Inspection Opening on the West Elevation), and the Floor 1 above Grade Level masonry arch at the Existing Fire Escape. This caused some of the masonry to crack due to water infiltration over a period of time. As previously stated, this also caused the Sandstone Sills and Limestone Caps to deteriorate. Minor pointing in various locations over all of the Elevations appears to have taken place prior to the 2015 Critical Examination Inspection (approximately 15-20 years prior).

Our Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear *unacceptable* at the time of the 2015 Critical Examination. While all of the building Elevations now required at least one or more of these basic Maintenance Repairs ("*Safe with a Repair and Maintenance Program*") none were considered "*Unsafe and Imminently Hazardous*". All future Maintenance Repairs must be permanent in nature and must be intended to bring any condition into a state of reliability. During our 2015 Critical Examination, any conditions in need of repair would be identified and recorded in our TA Critical Inspection Report. The Existing Fire Escape is on the West Elevation (Turner Court). All Elevations have aluminum replacement double hung windows and were found to be in acceptable condition. The existing window sealant appears to be beyond the Manufacturers Limit. No damaged windows were observed during this 2015 Critical Examination.

The following outlines our findings and Repair Recommendations as necessary. The accompanying Photographs (Appendix A), taken during the Critical Examination, are representative of the typical Exterior Building conditions and help to illustrate the issues if any. No Copies of previous Ongoing Inspection Reports were available for us to review.

The TA 2015 Critical Examination took place during daylight hours beginning in July 2015 with the use of a Telescopic Boom Lift and A. C. B. Masonry.

RECOMMENDED REPAIRS:

NORTH ELEVATION

Our 2015 Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear *unacceptable* at the time of the 2015 Critical Examination.

The Existing previously lowered and replaced Chimney Cap (All Elevations) has further deteriorated and should be removed and replaced.

Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. This would also include the replacement of the deteriorated Limestone Caps and Sandstone Window Sills. The entire North Elevation should be pointed. The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

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RECOMMENDED REPAIRS: (continued)

NORTH ELEVATION

The Interior of the three (3) Temporary Investigative Openings (TIO) appears to exhibit no visible deterioration.

The replacement aluminum double hung style windows could be replaced with Historic Style Original Wood Double Hung Windows (two over two panel window). At minimum the current caulk should be replaced.

The North Elevation is in a ***“safe with a repair and maintenance program condition”*** Condition at the time of the 2015 Critical Examination. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination. Additional Maintenance Repairs are required at the time of the 2015 Critical Examination.

SOUTH ELEVATION

Our 2015 Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear *unacceptable* at the time of the 2015 Critical Examination.

The West Corner has deteriorated due to differential movement including water infiltration over a period of time and should be removed and rebuilt. The Floor 3 replaced window was infilled with masonry and should be removed. Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. This would also include the replacement of the deteriorated Limestone Caps and Sandstone Window Sills. The entire South Elevation should be pointed. The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

The Interior of the three (3) Temporary Investigative Openings (TIO) appears to exhibit no visible deterioration.

The replacement aluminum double hung style windows could be replaced with Historic Style Original Wood Double Hung Windows (two over two panel window). At minimum the current caulk should be replaced.

The South Elevation is in a ***“safe with a repair and maintenance program condition”*** Condition at the time of the 2015 Critical Examination. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination. Additional Maintenance Repairs are required at the time of the 2015 Critical Examination.

EAST ELEVATION (MAIN STREET)

Our 2015 Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear *unacceptable* at the time of the 2015 Critical Examination.

The masonry Arch Distress, Floor 2, (South Location) should be removed and rebuilt. The Level One (Main Street @ Grade) Original masonry Arches that have been removed should be replaced. The Level One Stone Veneer Storefronts are not original.

Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require pointing. The Limestone Cap requires that the joints be pointed. The deteriorated Sandstone Window Sills should be replaced. The entire East Elevation should be pointed. The future Maintenance Repairs must be considered permanent in nature and

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RECOMMENDED REPAIRS: (continued)

EAST ELEVATION (MAIN STREET)

must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

The Interior of the three (3) Temporary Investigative Openings (TIO) appears to exhibit no visible deterioration.

The replacement aluminum double hung style windows could be replaced with Historic Style Original Wood Double Hung Windows (two over two panel window). At minimum the current caulk should be replaced.

The East Elevation is in a *"safe with a repair and maintenance program condition"* Condition at the time of the 2015 Critical Examination. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination. Additional Maintenance Repairs are required at the time of the 2015 Critical Examination.

WEST ELEVATION (TURNER COURT)

Our 2015 Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear *unacceptable* at the time of the 2015 Critical Examination.

The Floor 3 Parapet (Southwest Corner) has deteriorated due to differential movement including water infiltration over a period of time and should be removed and rebuilt. The masonry Stress Crack, Floor 3, (North Location) should be removed and rebuilt. The masonry Arch Distress, Floor 2, (South Location) should be removed and rebuilt. The deteriorated masonry Arch and masonry Stress Crack (Deteriorated Repair), Floor 1 above grade @ Fire Escape should be removed and rebuilt.

Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. This would also include the replacement of the deteriorated Limestone Caps and Sandstone Window Sills. The entire West Elevation should be pointed. The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

The Interior of the three (3) Temporary Investigative Openings (TIO) appears to exhibit no visible deterioration.

The replacement aluminum double hung style windows could be replaced with Historic Style Original Wood Double Hung Windows (two over two panel window). At minimum the current caulk should be replaced.

The West Elevation is in a *"safe with a repair and maintenance program condition"* Condition at the time of the 2015 Critical Examination. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination. Additional Maintenance Repairs are required at the time of the 2015 Critical Examination.

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OWNER/AGENT and PROFESSIONAL

A. Name and Business Address of Professional Preparing Report:

Robert J. T. Tassone
TASSONE ARCHITECTS, Inc.
Illinois Licensed Architect No. 001-013155 (Expires 11/30/2016)
1225 Norman Lane
Deerfield, Illinois, 60015-3115
Office: 1.312.502.1354
Fax: 1.847.236.0522

Inspection performed by: Robert J. T. Tassone

Access, Labor and Telescopic Boom Lift provided by A. C. B. Masonry
P.O. Box 2267 Glen Ellyn, Illinois, 60138

OWNER/AGENT and PROFESSIONAL

B. Name, Mailing Address and Telephone Number of Owner/Agent:

Mr. Mark Ruddick
City of West Chicago
475 Main Street
West Chicago, Illinois, 60185
1.630.293.2200

BUILDING DESCRIPTION

A. Address of Building

- a. 200 Main Street
- b. West Chicago, Illinois, 60185-2837

B. Site Plan (Not Applicable)

C. Principal Building Occupancies

- | | |
|----------------|---|
| a. Lower Level | Boiler Room (Turner Court - Ground Level) |
| b. Floor 1 | Retail |
| c. Floor 2-3 | Vacant |

D. Number of Stories: 3 + Lower Level (Turner Court)

E. Height: Grade to Parapet @ 44 feet (approx.)

F. Plan Dimensions: Overall Footprint 34' x 84' (approx.)

G. Age: Circa 1880

H. Exterior: Masonry Façade with Ornamental Masonry Cornice and Limestone Cap

I. Category: Type IV Building (*The International Building Code, 2009 / Section 602.4 Type IV*) means those Buildings constructed with Exterior Walls that are of noncombustible materials and the Interior Building Elements are of solid (Heavy Timber, HT) or laminated wood without concealed spaces.

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WALL CONSTRUCTION: MATERIAL AND FEATURES

MASONRY and BACK-UP MASONRY

The Exterior masonry façade appears to be in a *“safe with a repair and maintenance program condition”* Condition at the time of the 2015 Critical Examination. Minor pointing in various locations over all of the Elevations appears to have taken place prior to the 2015 Critical Examination Inspection (approximately 15-20 years prior). Each Elevation should be 100% pointed including the Cornice.

Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. The windows are a punched opening within the masonry multiple wythe wall. The existing exterior window head is a curved masonry segmental arch with two (2) rowlock header courses. The Interior of the three (3) Inspection Openings on each Elevation appears to be reasonably sound. The Temporary Investigative Openings (TIO) exposed the Existing Back-Up Masonry and was found to be in *“fair to good condition”* on all the Elevations (North, South, East, and West) with no visible deterioration.

The Southwest Cornice, above Floor 3, of the East Elevation was completely rebuilt and is currently deteriorated and requires removal and replacement. Several of the West Elevation Segmental Arches and one (1) East Elevation Segmental Arch require to be rebuilt and in addition several adjacent masonry Stress Cracks are in need of repair on the East and West Elevations. The Level One (Main Street Grade) Original masonry Arches that have been removed should be replaced. Some masonry face erosion and/or spalling has occurred along various locations on each of the Building Elevations, such as the North, South, and West Elevation Cornice. The upper Chimney (All Elevations) should be rebuilt.

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Refer to the description under the LIMESTONE CAP and SANDSTONE WINDOW SILL category for additional information.

LIMESTONE CAP

The Limestone Cap is in a *“safe with a repair and maintenance program condition”* Condition at the time of the 2015 Critical Examination on all Elevations.

Various portions of the North, South, and West existing Limestone Cap should be replaced with a new cut Limestone Cap that also incorporates a drip edge. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Refer to the description under the MASONRY and BACK-UP MASONRY category for additional information.

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WALL CONSTRUCTION: MATERIAL AND FEATURES (continued)

SANDSTONE WINDOW SILL

The Sandstone Window Sill is in a *“safe with a repair and maintenance program condition”* Condition at the time of the 2015 Critical Examination on all Elevations.

All of the existing Sandstone Window Sills will require that they be replaced due to excessive deterioration. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Refer to the description under the MASONRY and BACK-UP MASONRY category for additional information.

POINTING

Minor pointing, in various locations over all of the Elevations, of the existing masonry mortar joints appears to have taken place prior to the 2015 Critical Examination Inspection (approximately 15-20 years prior). Additional deterioration was observed during the Critical Examination over each Elevation. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

Each Elevation should be 100% pointed including the Cornice, (All Elevations).

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Refer to the description under the MASONRY and BACK-UP MASONRY category for additional information.

WINDOWS

The existing replacement aluminum double hung windows appear to be in *fair condition*. No cracked windows were noted on all Elevations. Sealant replacement should occur. The existing window sealant appears to be beyond the Manufacturers Limit.

The replacement aluminum double hung style windows could be replaced with Historic Style Original Wood Double Hung Windows (two over two panel window). At minimum the current caulk should be replaced.

Refer to the description under the SEALANT category for additional information.

SEALANT

A major quantity of open, split, cracked and hardened sealant joints were observed at the North, South, East, and West Elevation Windows during the 2015 Critical Examination. These failed sealant joints occurred where the existing Window Frame meets the masonry. The open sealant joints can allow water to enter the Building at the Window Frame. The existing window sealant appears to be beyond the Manufacturers Limit.

Our Office recommends the replacement of failed sealant joints at these locations should new windows not be installed.

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WALL CONSTRUCTION: MATERIAL AND FEATURES (continued)

SEALANT

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Refer to the description under the WINDOWS category for additional information.

EXAMINATION

PHYSICAL INSPECTION PROCEDURES

Our 2015 Critical Examination consisted of close-up visual inspection done at arm's length with the aid of rubber mallets and metal mason hammers utilized for sounding (brick) masonry and felt for vibration as an indication of interior cracks. The 2015 Critical Examination involved the use of a Telescopic Boom Lift typically used for façade repairs spanning each exposed Exterior Elevation. A minimum of three (3) minor Temporary Investigative Openings (TIO) was created in various locations on each Elevation (façade) to access the condition of representative areas of masonry and backup masonry. A close-up visual examination of each Corner was also reviewed on each Elevation.

Access, Labor, Equipment, Telescopic Boom Lift and Operator provided by:

A. C. B. Masonry

General conditions to be inspected on each façade consisted of (as necessary) masonry, mortar joints, corners, parapet cap, cornice corbel-table with masonry dentils, sandstone sills, windows, sealant, etc..

TEMPORARY INVESTIGATIVE OPENINGS

Temporary Investigative Openings (TIO) were cut into the Exterior façades primarily in areas that showed no obvious visual signs of deterioration, three (3) openings on each of four (4) exposed Elevations (North, South, East, and West).

The Temporary Investigative Openings were made with the following purposes:

- Observe how the continuous vertical section of masonry three (3) wythe in thickness relate to the back-up masonry;
- Observe the condition of the masonry, and structure.
- Observe the condition of back-up masonry;

The following summarizes the Temporary Investigative Openings (TIO):

- **TIO No. One, Two, and Three**, North Elevation,
Backup masonry in *fair to good condition*. FR.57, 58, and 59.
- **TIO No. One, Two, and Three**, South Elevation,
Backup masonry in *fair to good condition*. FR.46, 49, and 50.
- **TIO No. One, Two, and Three**, East Elevation,
Backup masonry in *fair to good condition*. FR.17, 19, and 22.
- **TIO No. One, Two, and Three**, West Elevation,
Backup masonry in *fair to good condition*. FR.32, 33, and 36.

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REVIEW OF BUILDING ELEVATIONS

NORTH ELEVATION

The Exterior masonry façade appears to be in a *“safe with a repair and maintenance program condition”* Condition at the time of the 2015 Critical Examination. Minor pointing in various locations over all of the Elevations appears to have taken place prior to the 2015 Critical Examination Inspection (approximately 15-20 years prior). The North Elevation should be 100% pointed including the Cornice.

The North Elevation is in a *“safe with a repair and maintenance program condition”* Condition at the time of the 2015 Critical Examination, including the Cornice.

The Existing Parapet consists of a Corbel-Table with masonry Dentils in the Bed Mould of the Cornice. The windows are a punched opening within the masonry multiple wythe wall. The existing exterior window head is a curved masonry segmental arch with two (2) rowlock header courses. The Interior of the three (3) Inspection Openings on this Elevation (North) appears to be reasonably sound. The Temporary Investigative Openings (TIO) exposed the Existing Back-Up Masonry and was found to be in *“fair to good condition”* on this Elevations (North) with no visible deterioration.

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Repair Schedule for the North Elevation

Additional Maintenance Repairs are required at the time of the 2015 Critical Examination. Our 2015 Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear *unacceptable* at the time of the 2015 Critical Examination.

The Existing previously lowered and replaced Chimney Cap (All Elevations) has further deteriorated and should be removed and replaced.

Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. This would also include the replacement of the deteriorated Limestone Caps and Sandstone Window Sills. The entire North Elevation should be pointed. The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Various portions of the (North) existing Limestone Cap should be replaced with a new cut Limestone Cap that also incorporates a drip edge. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

All of the existing Sandstone Window Sills will require that they be replaced due to excessive deterioration. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

The North Elevation requires basic Maintenance Repairs (*“Safe with a Repair and Maintenance Program”*) and no extensive Maintenance Repairs are considered *“Unsafe and Imminently Hazardous”* at the time of the 2015 Critical Examination.

The façade requires no immediate Maintenance Repairs to prevent falling debris or any other hazard to surrounding Properties. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination.

Refer to the list under SUMMARY and RECOMMENDED REPAIRS for additional Information.

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REVIEW OF BUILDING ELEVATIONS (continued)

SOUTH ELEVATION

The Exterior masonry façade appears to be in a ***“safe with a repair and maintenance program condition”*** Condition at the time of the 2015 Critical Examination. Minor pointing in various locations over all of the Elevations appears to have taken place prior to the 2015 Critical Examination Inspection (approximately 15-20 years prior). The South Elevation should be 100% pointed including the Cornice.

The South Elevation is in a ***“safe with a repair and maintenance program condition”*** Condition at the time of the 2015 Critical Examination, including the Cornice.

The Existing Parapet consists of a Corbel-Table with masonry Dentils in the Bed Mould of the Cornice. The windows are a punched opening within the masonry multiple wythe wall. The existing exterior window head is a curved masonry segmental arch with two (2) rowlock header courses. The Interior of the three (3) Inspection Openings on this Elevation (South) appears to be reasonably sound. The Temporary Investigative Openings (TIO) exposed the Existing Back-Up Masonry and was found to be in ***“fair to good condition”*** on this Elevations (South) with no visible deterioration.

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Repair Schedule for the South Elevation

Additional Maintenance Repairs are required at the time of the 2015 Critical Examination. Our 2015 Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear ***unacceptable*** at the time of the 2015 Critical Examination.

The West Corner has deteriorated due to differential movement including water infiltration over a period of time and should be removed and rebuilt. The Floor 3 replaced window was infilled with masonry and should be removed. Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. This would also include the replacement of the deteriorated Limestone Caps and Sandstone Window Sills. The entire South Elevation should be pointed. The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Various portions of the (South) existing Limestone Cap should be replaced with a new cut Limestone Cap that also incorporates a drip edge. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

All of the existing Sandstone Window Sills will require that they be replaced due to excessive deterioration. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

The South Elevation requires basic Maintenance Repairs (***“Safe with a Repair and Maintenance Program”***) and no extensive Maintenance Repairs are considered ***“Unsafe and Imminently Hazardous”*** at the time of the 2015 Critical Examination.

The façade requires no immediate Maintenance Repairs to prevent falling debris or any other hazard to surrounding Properties. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination.

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REVIEW OF BUILDING ELEVATIONS (continued)

SOUTH ELEVATION

Refer to the list under SUMMARY and RECOMMENDED REPAIRS for additional Information.

EAST ELEVATION

The Exterior masonry façade appears to be in a ***“safe with a repair and maintenance program condition”*** Condition at the time of the 2015 Critical Examination. Minor pointing in various locations over all of the Elevations appears to have taken place prior to the 2015 Critical Examination Inspection (approximately 15-20 years prior). The East Elevation should be 100% pointed including the Cornice.

The East Elevation is in a ***“safe with a repair and maintenance program condition”*** Condition at the time of the 2015 Critical Examination, including the Cornice.

The Existing Parapet consists of a Corbel-Table with masonry Dentils in the Bed Mould of the Cornice. The windows are a punched opening within the masonry multiple wythe wall. The existing exterior window head is a curved masonry segmental arch with two (2) rowlock header courses. The Interior of the three (3) Inspection Openings on this Elevation (East) appears to be reasonably sound. The Temporary Investigative Openings (TIO) exposed the Existing Back-Up Masonry and was found to be in ***“fair to good condition”*** on this Elevations (East) with no visible deterioration.

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Repair Schedule for the East Elevation

Additional Maintenance Repairs are required at the time of the 2015 Critical Examination. Our 2015 Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear ***unacceptable*** at the time of the 2015 Critical Examination.

The masonry Arch Distress, Floor 2, (South Location) should be removed and rebuilt. The Level One (Main Street @ Grade) Original masonry Arches that have been removed should be replaced. The Level One Stone Veneer Storefronts are not original and should be removed and replaced with a Historic appropriate style including adding the Floor 2 Wood Balcony.

Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. This would also include the replacement of the deteriorated Limestone Caps and Sandstone Window Sills. The entire East Elevation should be pointed. The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

The (East) existing Limestone Cap mortar joints should be pointed. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

All of the existing Sandstone Window Sills will require that they be replaced due to excessive deterioration. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

TASSONE ARCHITECTS, Inc.

REVIEW OF BUILDING ELEVATIONS (continued)

EAST ELEVATION

The East Elevation requires basic Maintenance Repairs (*"Safe with a Repair and Maintenance Program"*) and no extensive Maintenance Repairs are considered *"Unsafe and Imminently Hazardous"* at the time of the 2015 Critical Examination.

The façade requires no immediate Maintenance Repairs to prevent falling debris or any other hazard to surrounding Properties. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination.

Refer to the list under SUMMARY and RECOMMENDED REPAIRS for additional Information.

WEST ELEVATION

The Exterior masonry façade appears to be in a *"safe with a repair and maintenance program condition"* Condition at the time of the 2015 Critical Examination. Minor pointing in various locations over all of the Elevations appears to have taken place prior to the 2015 Critical Examination Inspection (approximately 15-20 years prior). The West Elevation should be 100% pointed including the Cornice.

The West Elevation is in a *"safe with a repair and maintenance program condition"* Condition at the time of the 2015 Critical Examination, including the Cornice.

The Existing Parapet consists of a Corbel-Table with masonry Dentils in the Bed Mould of the Cornice. The windows are a punched opening within the masonry multiple wythe wall. The existing exterior window head is a curved masonry segmental arch with two (2) rowlock header courses. The Interior of the three (3) Inspection Openings on this Elevation (West) appears to be reasonably sound. The Temporary Investigative Openings (TIO) exposed the Existing Back-Up Masonry and was found to be in *"fair to good condition"* on this Elevations (West) with no visible deterioration.

The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

Repair Schedule for the West Elevation

Additional Maintenance Repairs are required at the time of the 2015 Critical Examination. Our 2015 Critical Examination has revealed that the previous Maintenance Repairs, including minor pointing, parapet capstone repair, masonry replacement pieces, and sealant replacement appear *unacceptable* at the time of the 2015 Critical Examination.

The Floor 3 Parapet (Southwest Corner) has deteriorated due to differential movement, including water infiltration over a period of time, and should be removed and rebuilt. The masonry Stress Crack, Floor 3, (North Location) should be removed and rebuilt. The masonry Arch Distress, Floor 2, (South Location) should be removed and rebuilt. The deteriorated masonry Arch and masonry Stress Crack (Deteriorated Repair), Floor 1 above grade @ Fire Escape should be removed and rebuilt.

Much of the Existing Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. This would also include the replacement of the deteriorated Limestone Caps and Sandstone Window Sills. The entire West Elevation should be pointed. The future Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

TASSONE ARCHITECTS, Inc.

REVIEW OF BUILDING ELEVATIONS (continued)

WEST ELEVATION

Various portions of the (West) existing Limestone Cap should be replaced with a new cut Limestone Cap that also incorporates a drip edge. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

All of the existing Sandstone Window Sills will require that they be replaced due to excessive deterioration. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

The Floor 1 above grade @ Fire Escape (Turner Court), North and South Locations Infilled Windows should be replaced with Insulated Metal Panels in lieu of the existing plywood panels.

The West Elevation requires basic Maintenance Repairs (*"Safe with a Repair and Maintenance Program"*) and no extensive Maintenance Repairs are considered *"Unsafe and Imminently Hazardous"* at the time of the 2015 Critical Examination.

The façade requires no immediate Maintenance Repairs to prevent falling debris or any other hazard to surrounding Properties. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination.

Refer to the list under SUMMARY and RECOMMENDED REPAIRS for additional Information.

SUMMARY and RECOMMENDED REPAIRS:

In General, each Façade is Classified as a *"safe with a repair and maintenance program condition"* Condition. No apparent Damaged Windows were observed. As Typical with Buildings of this Age, masonry repair/replacement, masonry face erosion and/or spalling repair, masonry back-up repair/replacement, pointing, limestone cap repair/replacement, and sandstone window sill repair/replacement, may be necessary in the Future.

Overall the Building requires Maintenance Repairs over the North, South, East and West Elevations prior any future Façade Examination. The façade requires no immediate Maintenance Repairs to prevent falling debris or any other hazard to surrounding Properties. Inspecting Personnel did not observe any hazardous conditions at the time of the 2015 Critical Examination. There was no loose masonry in a state of hazardous deterioration, limestone caps in a state of hazardous deterioration, or sandstone window sills in a state of hazardous deterioration that would cause physical harm to adjacent property or humans in the area.

The areas of most concern are on the North, South, and West Elevation including the following: Floor 3 Parapet (West Elevation, Southwest Corner) that has deteriorated due to differential movement, including water infiltration over a period of time, and should be removed and rebuilt. The masonry Stress Crack, Floor 3, (West Elevation, North Location) should be removed and rebuilt. The masonry Arch Distress, Floor 2, (West Elevation, South Location) should be removed and rebuilt. The deteriorated masonry Arch and masonry Stress Crack (Deteriorated Repair), Floor 1 above grade @ Fire Escape (West Elevation) should be removed and rebuilt. The South Elevation West Corner has deteriorated due to differential movement, including water infiltration over a period of time, and should be removed and rebuilt. Much of the Existing North, South, and West

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SUMMARY and RECOMMENDED REPAIRS: (continued)

Elevation Parapet Corbel-Table with masonry Dentils in the Bed Mould of the Cornice require repair and pointing. This would also include the replacement of the deteriorated Limestone Caps (North, South, and West Elevations) and Sandstone Window Sills (All Elevations). The Existing previously lowered and replaced Chimney Cap (All Elevations) has further deteriorated and should be removed and replaced.

Minor pointing, in various locations over all of the Elevations, of the existing masonry mortar joints appears to have taken place prior to the 2015 Critical Examination Inspection (approximately 15-20 years prior). Additional deterioration was observed during the Critical Examination over each Elevation. Possible water infiltration may occur over the future freeze/thaw cycles causing significant damage.

Each Elevation should be 100% pointed including the Cornice, (All Elevations).

A major quantity of open, split, cracked and hardened sealant joints were observed at the North, South, East, and West Elevation Windows during the 2015 Critical Examination. These failed sealant joints occurred where the existing Window Frame meets the masonry. The open sealant joints can allow water to enter the Building at the Window Frame. The existing window sealant appears to be beyond the Manufacturers Limit.

Our Office recommends the replacement of failed sealant joints at these locations should new windows not be installed.

Our Office Recommends the aforementioned Maintenance Repairs Activities, at these locations, be performed by Property Management (**West Chicago**) *prior* to the next Winter Season in 2016 or as noted. Economics plays an important role for the Owner but further deterioration and damage can increase the Renovations Costs if not managed properly over time. Once the Maintenance Repairs are completed the Building will continue to be a jewel among the many gems of the West Chicago Main Street.

All Maintenance Repairs must be considered permanent in nature and must be intended to bring any condition into a state of reliability. These Maintenance Repairs are important to preserve the Exterior Wall against future water infiltration, and to prevent future masonry, masonry back-up, masonry parapet Corbel-Table, limestone caps, and sandstone window sills further deterioration and damage. The objective of all Maintenance Repairs should be to limit deterioration through early intervention.

A Historical note for the Owners to consider, the Level One Stone Veneer Storefronts are not original and should be removed and replaced with a Historic appropriate style including adding the Floor 2 Wood Balcony. Also, the replacement aluminum double hung style windows should be replaced with a Historic Style Original Wood Double Hung Window (two over two panel window). At minimum the current caulk should be replaced.



TASSONE ARCHITECTS, Inc.

NOTES AND LIMITATIONS:

1 / Services rendered by our office were exercised with reasonable care and competence. The standard of care by our office performing the close-up visual inspection of an exterior wall, with the understanding that, because of the physical properties of the many materials commonly used for constructing exterior walls, and the limitations on detecting concealed internal wall distress, the close-up visual inspection may not find "*unsafe and imminently hazardous conditions*" in the wall that are not visible from the exterior. Therefore, submittal of the close-up visual inspection report is not a representation that all "*unsafe and imminently hazardous conditions*" in a wall have been identified.

2 / This report shall not be construed to warrant or guarantee the building and or any of its components, either visible or concealed, under any circumstances. **TASSONE ARCHITECTS, Inc.** shall not be responsible for latent or hidden defects that exist, nor shall it be inferred that all defects will have been observed or recorded. This report is intended to identify the general condition of the exterior walls and enclosures and the necessity of repairs. **TASSONE ARCHITECTS, Inc.** review and report shall not constitute a detailed specification for repairs.

3 / Conditions noted in this report are as of the time of close-up visual inspection only. It is to be expected that the subject building will undergo changes and deterioration subsequent to that date.

4 / This report is intended solely for the close-up visual inspection services rendered by our office, and may be used for no other purpose without written permission of the Architect.

5 / A copy of this report has been given to the Client, and the Client has been informed of conditions requiring maintenance and precautionary work as observed during the time of this report.

6 / A qualified masonry contractor could repair items, when approved by the Owner/Agent, under required Permits while the equipment; sidewalk protection, rigging, operators and restoration/repair contractors are still on site.

7 / The next comprehensive examination should occur according to the schedule established by Owner/Agent.

TASSONE ARCHITECTS, Inc.

NOTES AND LIMITATIONS: (continued)

8 / It should be noted that the long-term integrity of any repairs is dependent on maintaining a weatherproof building envelope. While not necessarily a part of the scope of this investigation, it was noted that most of the building's waterproof components, including the replacement windows ensure the longevity of any repairs and prevent future damage.

9 / The photographs contained in this close-up visual inspection are intended only to represent general conditions as found in the course of the exterior close-up visual inspection and described in this report. These photographs are not intended to be used for bidding of work, obtaining permits or quantifying extent of recommended repair work. Proper drawings and specifications should be prepared for these purposes.

10 / This Evaluation Report was prepared under the direction of Robert J. T. Tassone, Illinois Licensed Architect, President of TASSONE ARCHITECTS, Inc., 1225 Norman Lane, Deerfield, Illinois 60015, Telephone: 1.312.502.1354. All final reports are the expressed ownership of *TASSONE ARCHITECTS, Inc. (TA Inc.)* and you may not copy, modify, reproduce, republish, distribute, display, or transmit for commercial, non-profit or public purposes all or any portion of the final report, except to the extent permitted above. You may not use or otherwise export or re-export the final report, the content or any portion thereof in violation of the export control laws and regulations of the United States of America. Any unauthorized use of the final report or its content is prohibited. The client and owner acknowledge that the copyrights to the final report are exclusively owned by *TA Inc.*. Materials may not be copied by client and owner or transferred by client and owner to any person or entity, in any form or in any medium, without *TA Inc.* prior written consent. Ownership in a copyright pursuant to 17 *United States Code* § 201(d) is not relinquished by *TA Inc.*.

TASSONE ARCHITECTS, Inc.

PREPARATION

This Critical Report was prepared under the direction of Robert J. Tassone, Illinois Licensed Architect, Principal of TASSONE ARCHITECTS, Inc., 1225 Norman Lane, Deerfield, Illinois 60015, Telephone: 1.312.502.1354. By performing this Critical Inspection and submitting this Critical Inspection Report, we accept neither responsibility nor inference regarding latent or hidden defects, nor do we represent that all surface defects will have been detected or recorded.

In closing, thank you for the opportunity to be of continued professional service to **A. C. B. Masonry**. Please feel free to contact me directly if you have any immediate questions or concerns.

TASSONE ARCHITECTS Inc.

(Signature and Seal of Professional who performed or supervised the Critical Examination and Critical Report)



SEAL
(EXP. NOV. 2016)



Robert J. T. Tassone, Principal

TASSONE + ARCHITECTS, Inc.

Illinois Licensed Architect No. 001-013155

Illinois Professional Design Firm No. 184-002060

Illinois Registered Interior Designer No. 161-000287

NOTE: By performing this Critical Inspection and submitting this Report, we accept neither responsibility nor inference regarding latent or hidden defects, nor do we represent that all surface defects will have been detected or recorded in the Critical Inspection Report. Under no circumstances shall the Critical Inspection Report be construed to warrant or guarantee the Building, or any of its components, either visible or concealed.

Services rendered by our office were exercised with reasonable care and competence. The standard of care by our office performing the Critical Inspection with the understanding that, because of the physical properties of the many materials commonly used for Buildings, and the limitations on detecting concealed internal Building distress, the Critical Inspection Report may not determine "unsafe and imminently hazardous conditions" in the Building that are not visible during the Critical Inspection. Therefore, submittal of the Critical Inspection Report is not a representation that all "unsafe and imminently hazardous conditions" in a Building have been identified in the Critical Inspection Report.

This Critical Inspection Report shall not be construed to warrant or guarantee the Building and or any of its components, either visible or concealed, under any circumstances. **TASSONE ARCHITECTS, Inc.** shall not be responsible for latent or hidden defects that exist, nor shall it be inferred that all defects will have been observed or recorded. This Critical Inspection Report is intended to identify the general condition of the exterior walls and enclosures and the necessity of repairs. **TASSONE ARCHITECTS, Inc.** Critical Inspection Report shall not constitute a detailed specification for repairs or alterations within the Building. Comments noted in this Critical Inspection Report are as of the time of the Submitted Critical Inspection Report only. It is to be expected that the subject Building will undergo changes and deterioration subsequent to that date.

TASSONE ARCHITECTS, Inc.

**200 MAIN Street
West Chicago, Illinois
Critical Examination Report / 2015**

**APPENDIX A:
PHOTOGRAPHS**

TASSONE ARCHITECTS, Inc.

200 Main Street, West Chicago, Illinois, 60185 REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



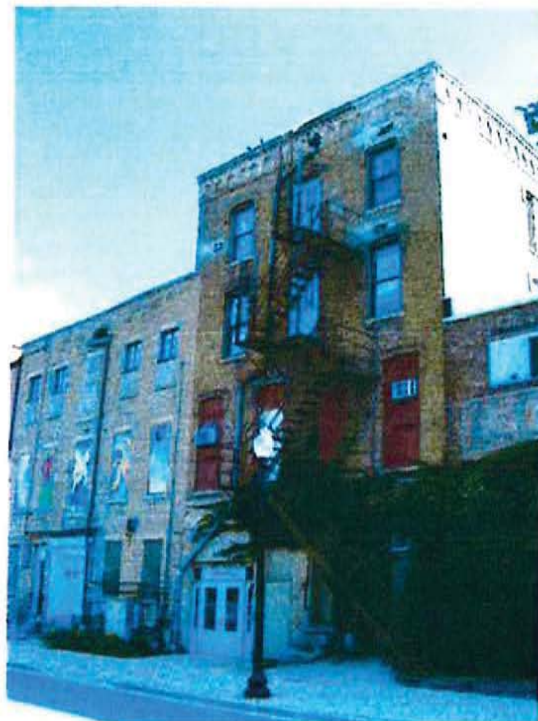
FR.1 / Main (East) Street Elevation.



FR.2 / Main (East) Street El., Telescopic Boom Lift for Inspection.



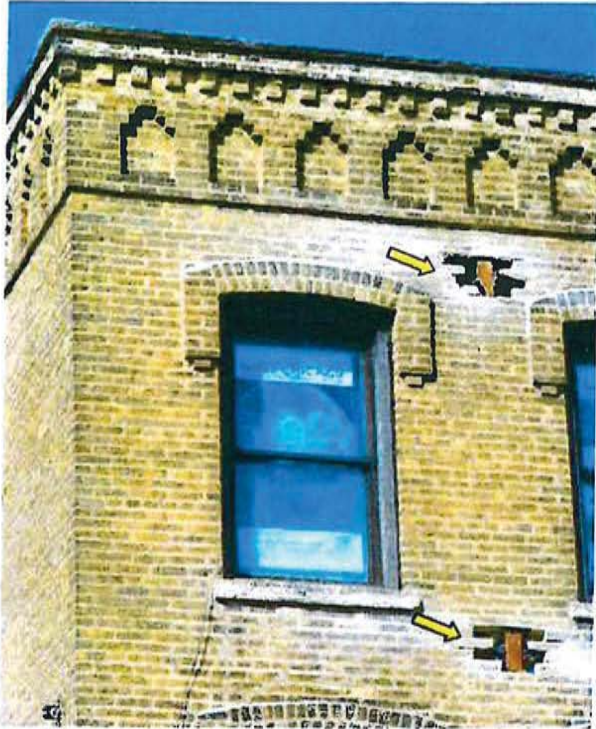
FR.3 / Turner (West) Court & Partial North Elevation,
with Existing Metal Fire Escape.



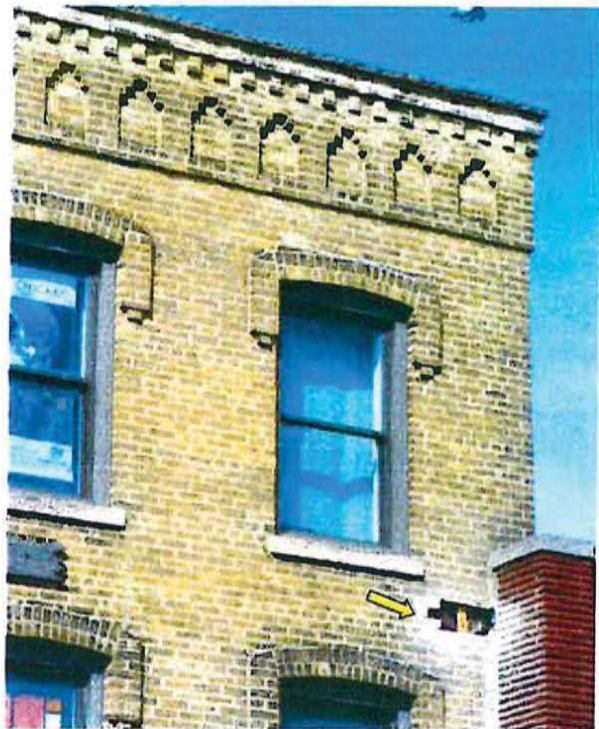
FR.4 / Turner (West) Court & Partial North Elevation,
with Existing Metal Fire Escape.



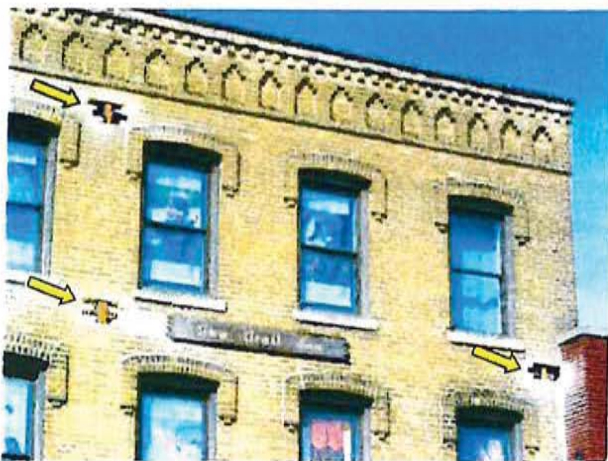
200 Main Street, West Chicago, Illinois, 60185
REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



FR.5 / Main (East) Street Eleva., South Inspection Openings.



FR.6 / Main (East) Street Eleva., North Inspection Opening.



FR.7 / Main (East) Street Elevation, Inspection Openings.

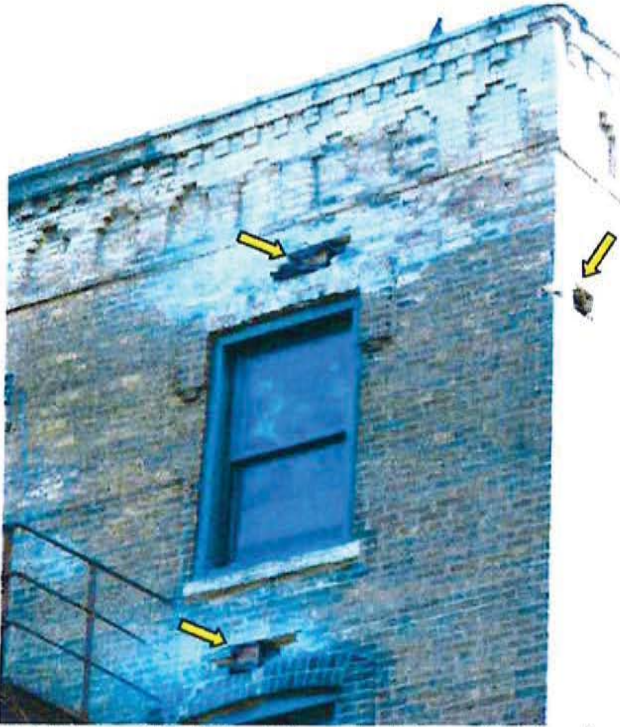


FR.8 / Turner (West) Court Elevation, North Inspection Opening.

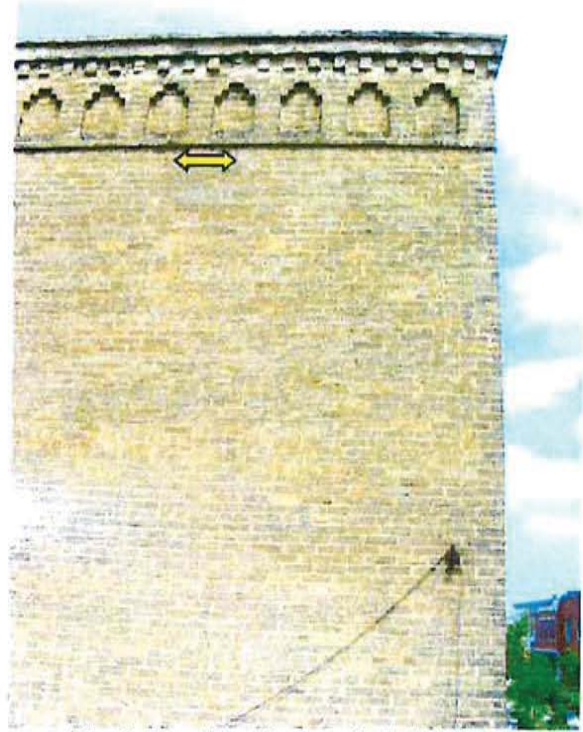


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200 Main Street, West Chicago, Illinois, 60185 REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



FR.9 / Turner (West) Court Eleva., South Inspection Openings.



FR.10 / South Elevation, Masonry Corbel-Table with
Masonry Dentils in the Bed Mould of the Cornice.



FR.11 / Main (East) Street Elevation, Masonry Corbel-Table
with Masonry Dentils in the Bed Mould of the Cornice.



200 Main Street, West Chicago, Illinois, 60185
REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



FR.12 / Main (East) Street Existing Deteriorated Sandstone Window Sill.



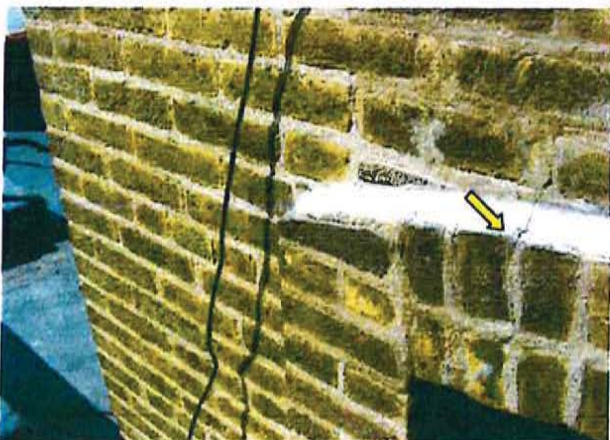
FR.13 / Main (East) Street Existing Deteriorated Sandstone Window Sill. Replacement Aluminum Windows.



FR.14 / Main (East) Street Elevation, Curved Masonry Segmental Window Arch, Two Rowlock Header Courses.



FR.15 / Main (East) Street Elevation, Masonry with Mortar Joints.



FR.16 / Main (East) Street Elevation, Masonry Stress @ Arch, Southwest Corner, Floor 2 @ Head.



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FR.17 / Main (East) Street Eleva., North Inspection Opening.



FR.18 / Main (East) Street Eleva., North Inspection Opening,
Floor 3.



FR.19 / Main (East) Street Elev., South Inspection Opening.
Floor 3 @ Head.



FR.20 / Main (East) Street Eleva., South Inspection Opening,
Floor 3 @ Head.



FR.21 / Main (East) Street Elevation, Level One Removed
Masonry Arch.



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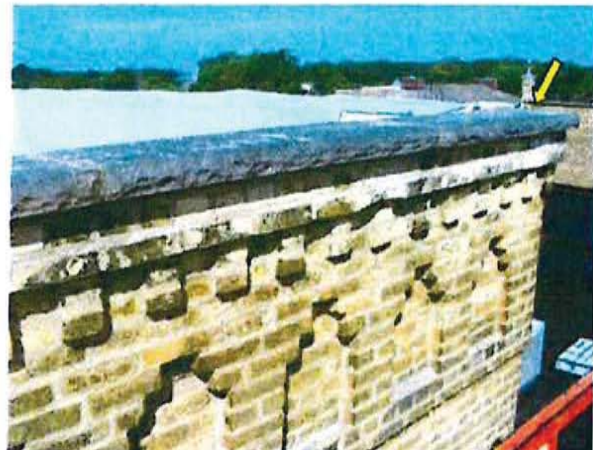
FR.22 / Main (East) Street Elevation, South Inspection Opening, Floor 3.



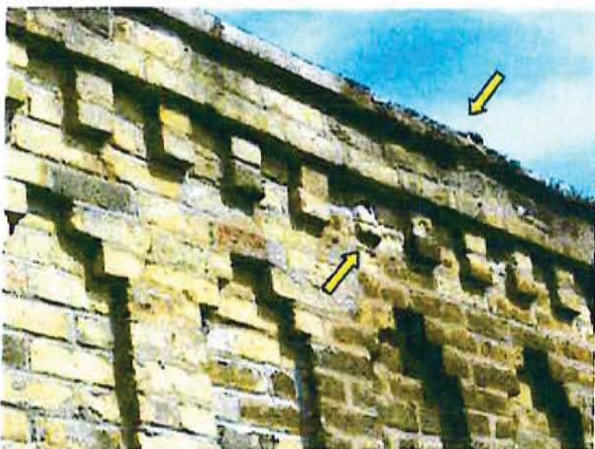
FR.23 / Main (East) Street Elevation, South Inspection Opening, Floor 3.



FR.24 / Main (East) Street Elevation, Southwest Limestone Parapet Cap.



FR.25 / Main (East) Street Elevation, Northeast Limestone Parapet Cap.

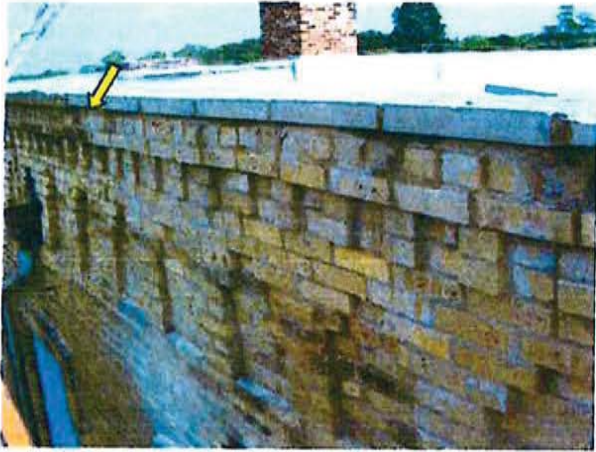


FR.26 / South Elevation, Deteriorated Masonry & Limestone Parapet Cap.

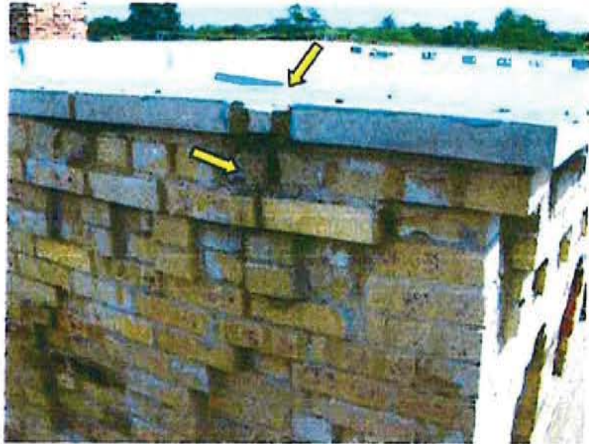


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REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



FR.27 / Turner (West) Court Eleva., Masonry Corbel-Table with Masonry Dentils in the Bed Mould of the Cornice.



FR.28 / Turner (West) Court Eleva., Masonry Corbel-Table with Masonry Dentils in the Bed Mould of the Cornice.



FR.29 / Turner (West) Court Eleva., Masonry Corbel-Table with Masonry Dentils in the Bed Mould of the Cornice.



FR.30 / Turner (West) Court Eleva., Masonry Corbel-Table with Masonry Dentils in the Bed Mould of the Cornice.



FR.31 / Turner (West) Court Elevation, Masonry Stress, Floor 3 (North),



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200 Main Street, West Chicago, Illinois, 60185
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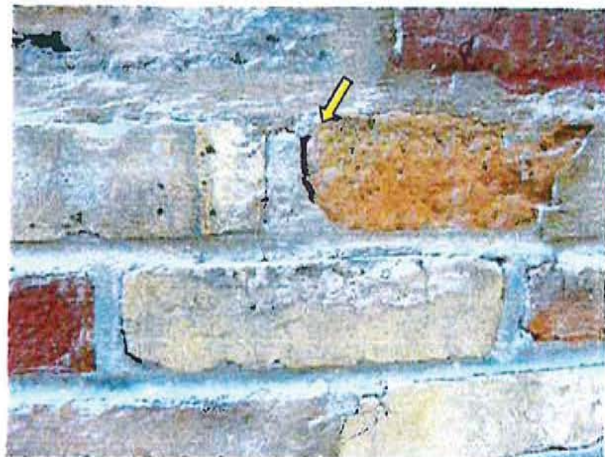
FR.32 / Turner (West) Court Elevation, South Inspection Opening, Floor 3.



FR.33 / Turner (West) Court Elevation, South Inspection Opening, Floor 2. Masonry Arch Distress.



FR.34 / Turner (West) Court Elevation, Deteriorated Repair, South Corner, Floor 3 @ Head.



FR.35 / Turner (West) Court Elevation, Deteriorated Repair, South Corner, Floor 3 @ Head (Close-up).



FR.36 / Turner (West) Court Elevation, North Inspection Opening, Floor 3.



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200 Main Street, West Chicago, Illinois, 60185
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FR.37 / Turner (West) Court Elevation, Existing Deteriorated Sandstone Window Sill, North, Floor 3.



FR.38 / Turner (West) Court Elevation, Existing Deteriorated Sandstone Window Sill, South, Floor 3.



FR.39 / Turner (West) Court Elevation, Deteriorated Repair, Floor 1 Above Grade Level @ Fire Escape.



FR.40 / Turner (West) Court Elevation, Masonry Pointing, Required, Floor 1 (North) Above Grade Level.



FR.41 / South Elevation, Deteriorated Limestone Sills, Masonry Pointing Required.



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200 Main Street, West Chicago, Illinois, 60185 REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



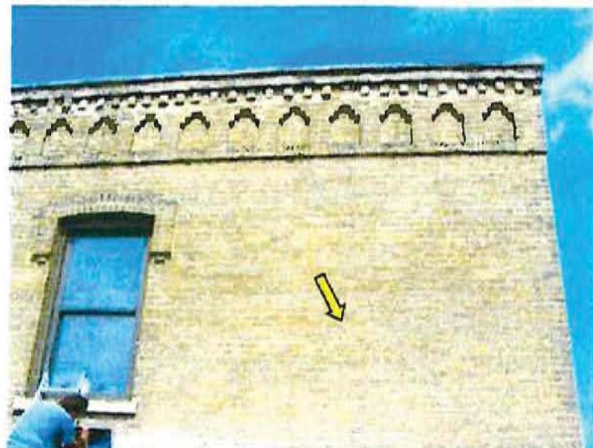
FR.42 / South Elevation, Inspection Openings, Floor 2 & 3.



FR.43 / South Elevation, Masonry Infill @ Removed Window.
Inspection Openings, Floor 2 & 3.



FR.44 / South Elevation, West Inspection Opening, Floor 3.



FR.45 / South Elevation (East Corner), Masonry Pointing
Required.



FR.46 / South Elevation, West Corner Inspection Opening,
Floor 3.



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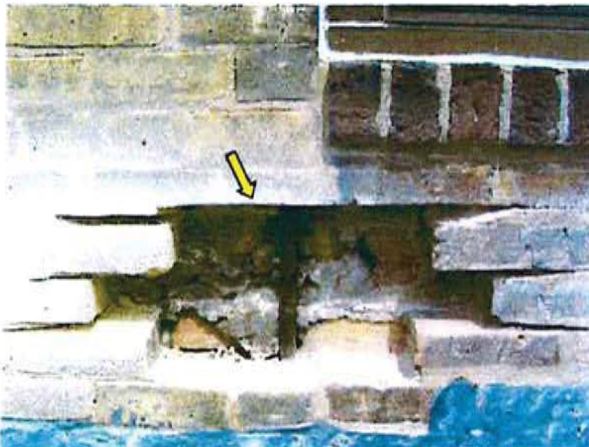
200 Main Street, West Chicago, Illinois, 60185
REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



FR.47 / South Elevation, West Inspection Opening, Floor 2.



FR.48 / South Elevation, East Inspection Opening, Floor 3.



FR.49 / South Elevation, West Inspection Opening, Floor 2.



FR.50 / South Elevation, East Inspection Opening, Floor 3



FR.51 / South Elevation, Deteriorated Limestone Sill, Floor 3.



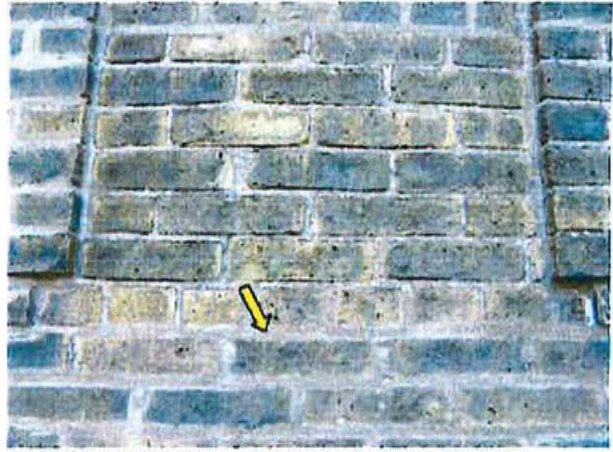
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TASSONE ARCHITECTS, Inc.

200 Main Street, West Chicago, Illinois, 60185 REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



FR.52 / South Elevation, Masonry Pointing Required, Floor 2.



FR.53 / North Elevation, Masonry Pointing Required, Floor 3.



FR.54 / North Elevation, East Inspection Opening, Floor 3.



FR.55 / North Elevation, West Inspection Openings, Floor 3



FR.56 / North Elevation, Masonry Pointing Required, Floor 3.
Deteriorated Limestone Sill.

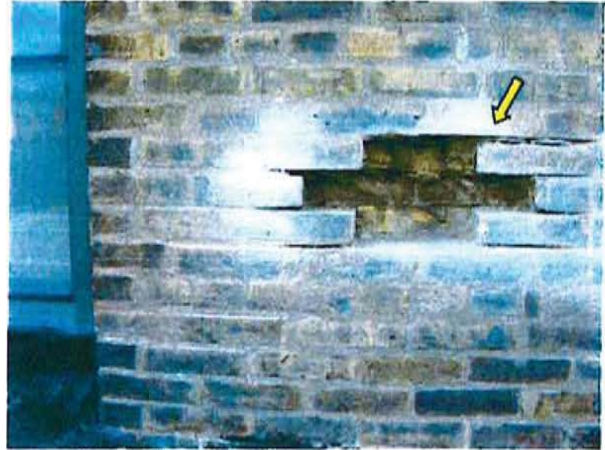


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200 Main Street, West Chicago, Illinois, 60185
REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



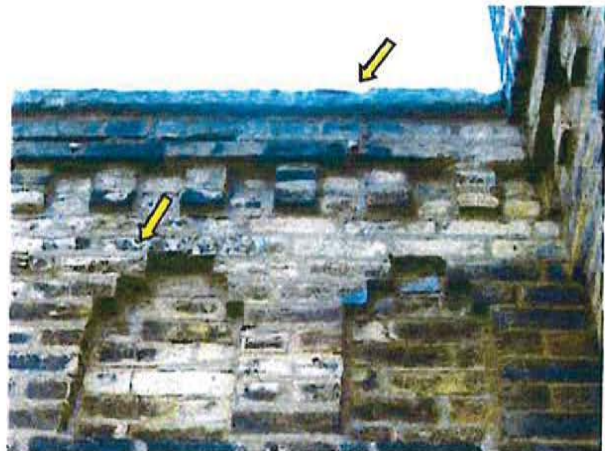
FR.57 / North Elevation, East Inspection Opening, Floor 3.



FR.58 / North Elevation, Chimney Inspection Opening, Floor 3.



FR.59 / North Elevation, West Inspection Opening, Floor 3.



FR.60 / North Elevation, Deteriorated Limestone Cap & Masonry.



FR.61 / North Elevation, Deteriorated Chimney Masonry,
All Elevations.

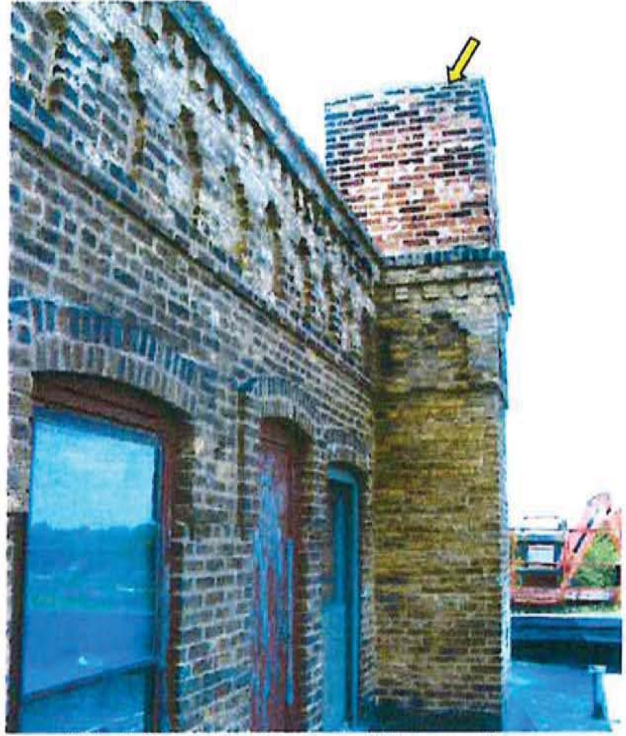


TASSONE ARCHITECTS, Inc.

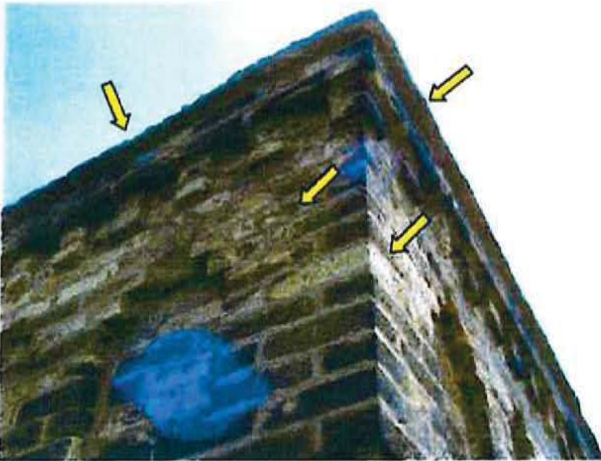
200 Main Street, West Chicago, Illinois, 60185
REPRESENTATIVE EXISTING CONDITIONS PHOTOGRAPHS



FR.62 / North Elevation, Deteriorated Limestone Cap & Masonry.



FR.63 / North Elevation, Deteriorated Chimney Masonry, All Elevations.



FR.64 / North Elevation, West Corner, Deteriorated Limestone Cap & Masonry.



PROPOSAL



A.C.B. Masonry, LLC

P.O. Box 2267, Glen Ellyn, IL 60138-2267

630-886-7190

acbmasonry@aol.com

www.ACBMasonry.com

PROPOSAL SUBMITTED TO: Mark Ruddick C/O The City of West Chicago		WORK TO BE PERFORMED AT: 200 Main St. - West Chicago.
ADDRESS: 475 Main St. West Chicago IL 60185		TYPE OF WORK: Masonry restoration and repairs
PHONE NUMBER: 630-293-5865	DATE OF PLANS: 9/14/15	INVOICE NO.:

We hereby propose to furnish the material and perform the labor necessary for the completion of:

Re: Masonry restoration and repairs to 4 elevations of building-

North elevation-

- 1). Remove existing masonry chimney at rooftop level. Install concrete cap at top level of chimney.
- 2). Remove existing Limestone copings and replace with new. Approx: 46' Ft. of copings to be replaced.
- 3). Grind out mortar joints and Tuck Point 100% of elevation.
- 4). Install caulking sealants at Limestone copings joints.
- 5). Pressure wash and clean masonry with lite duty restoration cleaner. 100%

West elevation -

- 1). Replace Approx: 40 Ft. of Limestone copings at parapet wall.
- 2). Remove and rebuild South West corner at parapet wall - West side- Approx: 16 Ft in length x 6 Ft. in height. Exterior course only.
- 3). Grind out mortar joints and Tuck point 100% of elevation.
- 4). Remove existing brick archways above windows at 2 locations and rebuild to existing detail.
- 5). Remove existing stone window sills at 8 locations. Replace stone sills at 3 door locations.
- 6). Pressure wash and clean masonry with lite duty restoration cleaner. 100%
- 7). Install caulking sealants at Limestone coping joints at parapet.

South elevation -

- 1). Replace Approx: 20 Ft. of Limestone copings at parapet wall.
- 2). Remove and rebuild South West corner at parapet wall - South side - Approx: 16 Ft. in length x 6 Ft. in height. Exterior course only.
- 3). Grind out mortar joints and Tuck Point 100% of elevation.
- 4). Remove existing brick that fills 1/2 a window.
- 5). Remove existing stone window sills at 10 locations and replace with Limestone sills
- 6). Install caulking sealants at Limestone coping joints at parapet.
- 7). Pressure wash and clean masonry with lite duty restoration cleaner. 100%

East elevation -

- 1). Grind out mortar joints and Tuck Point 100% of elevation.
- 2). Remove existing stone window sills at 8 locations and replace with Limestone sills.
- 3). Install caulking sealants at Limestone copings joints at parapet.
- 4). Replace existing damaged Common brick archways at 4 locations and rebuild to original detail.
- 5). Pressure wash and clean masonry with lite duty restoration cleaner. 100%

All cost and details as described in this proposal are subject to change.
No permits are included with this proposal.
No pedestrian canopys are included with this proposal.
Debris dumpster to be delivered to project.
Dustless grinders to be used for mortar joints to control dust.
All Limestone sills and coping stones to have Rockface to match existing.
Final details of all materials to be submitted before installation.

TOTAL COST: \$151,341.00

CERTIFICATE OF WORKMANS COMPENSATION AND GENERAL LIABILITY INSURANCE AND/OR
A COPY OF MASONRY CONTRACTORS LICENSE AVAILABLE UPON REQUEST.

With payments to be made as follows:

To be determined.

A 5% late charge will be added to your final payment if not received within 15 days from the invoice date.

Any alteration or deviation from above specification involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted by William Tenuta, A.C.B. Masonry, LLC

Note – This proposal may be withdrawn by us if not accepted within 60 days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Date _____

Signature _____