

# CITY OF WEST CHICAGO

WHERE HISTORY & PROGRESS MEET

## DEVELOPMENT COMMITTEE

**Monday, July 8, 2019  
7:00 P.M. - Council Chambers**

### AGENDA

1. Call to Order, Roll Call, and Establishment of a Quorum
2. Approval of Minutes
  - A. May 13, 2019
3. Public Participation
4. Items for Consent
  - A. **470 West Roosevelt Road** – Amendment to the Preliminary PUD for Lot 1 of the Jigged Ventures Subdivision to allow “Motor Vehicles Sales, Internet based” as a permitted use.
5. Items for Discussion
  - A. **560 & 600 West Roosevelt Road** – Amendments to the Preliminary PUD for Lots 2-4 and Final PUD for Lots 1-2 for the Jigged Ventures Resubdivision to allow an Atlas Bobcat facility and ancillary outside storage for Groebner & Associates, respectively.
6. Unfinished Business
7. New Business
8. Reports from Staff
  - A. Update on RFP for Central Main Street Redevelopment
9. Adjournment

Draft

## MINUTES

### DEVELOPMENT COMMITTEE

**May 13, 2019, 7:00 P.M.**

**1. Call to Order, Roll Call, and Establishment of a Quorum.**

Alderman Stout called the meeting to order at 7:00 P.M.

Roll call found Aldermen James Beifuss, Melissa Birch Ferguson, Michael Ferguson, Bonnie Gagliardi, Matt Garling, Jayme Sheahan and Rebecca Stout present.

Also in attendance was Community Development Director, Tom Dabareiner and Economic Development Coordinator, Pete Kelly.

**2. Approval of Minutes.**

**A. April 8, 2019.**

Alderman Beifuss moved and Alderman Garling seconded a motion to approve the minutes. Voting Aye: Aldermen Beifuss, Birch Ferguson, Ferguson, Gagliardi, Garling, Sheahan and Stout. Voting Nay: 0.

**3. Public Participation. None.**

**4. Items for Consent.**

**A. Plat of Consolidation, 1817 and 1827 Blackhawk Drive.**

Alderman Birch Ferguson moved and Alderman Garling seconded a motion to approve this Item for Consent. Voting Aye: Aldermen Beifuss, Birch Ferguson, Ferguson, Gagliardi, Garling, Sheahan and Stout. Voting Nay: 0.

**5. Items for Discussion.**

Development Committee Minutes  
May 13, 2019

**A. Forming America, 1200 N. Prince Crossing – Biannual Progress Report.**

Tom Dabareiner provided this item update, noting the owner of Forming America was present. The applicant received a Special Use Permit for an outside storage yard in August of 2007, which has included four amendments with several site improvements to be completed by specific dates. Earlier this year, the City Council approved a final completion deadline of July 31, 2019.

The applicant, Mr. James Langkamp, addressed the members. He stated that he has left to pave the back of the lot, and with better weather, they are ready to begin. Alderman Stout said that staff will be in touch with him as the deadline approaches, and thanked him for attending.

**B. Midwest Industrial Funds, 2525 and 2555 Enterprise Circle (DuPage Business Center) – Final Development Plan Review.**

Tom Dabareiner indicated the representatives for Midwest Industrial Funds were present. They are requesting Final Development Plan approval for the construction of two speculative warehouses/distribution buildings on 29 acres south of Fabyan Parkway and west of Enterprise Circle in the DuPage Business Center. The northern most building, 2525 Enterprise Circle, is a cross-docked facility of some 303,000 square feet with a total of 47 docks. Berms are being provided to block the view of the loading docks from Fabyan Parkway. There are 210 parking spaces, with an additional 28 land-banked spaces. The second building at 2555 Enterprise Circle will be 186,000 square feet with 38 loading docks that will not be visible from Enterprise Circle. Staff requests two conditions—one related to landscaping and the other to screening of rooftop mechanicals—be placed on the approval. DuPage Airport Authority (DAA) recently approved this plan, but based on our Agreement, both the City and the DAA need to approve it. Staff acknowledges that the proposal does comply.

Alderman Beifuss asked about the conditions. Mr. Dabareiner indicated that if the parapet is not high enough to screen the rooftop mechanicals, the condition would require the applicant to provide additional walls.

**Alderman Garling moved and Alderman Gagliardi seconded a motion to approve Item C. Voting Aye: Aldermen Beifuss, Birch Ferguson, Ferguson, Gagliardi, Garling, Sheahan and Stout. Voting Nay: 0.**

**C. IDI Logistics, Fabyan Parkway – Review & Discussion.**



Tom Dabareiner provided this item update. IDI Logistics is national investor and developer of distribution facilities, and they are working with Home Depot to locate a warehouse/distribution center in the Chicago area. There is a 55-acre site south of Roosevelt Road and east of Fabyan Parkway that could host a 650,000 square foot site, linked to the BNSF railway, and would employ 100 full-time workers. The building would accommodate two rail spurs and 31 loading docks. Truck traffic is estimated to be 235 per day, with a peak of 300 per day. Access would be off of Fabyan Parkway, although he noted that if the road is extended to Roosevelt Road, there would be additional access. There would be some outside storage near the rail spurs on the south side of the building, but berms and landscaping would obscure the view for the surrounding properties. TIF revenue may be required to help offset some of the costs. Staff noted a couple of concerns with regards to rezoning from ORI to M, the traffic projections which did not include car counts nor disclose the supporting detail, and finally the timing of the improvements. DuPage County is proposing to widen Fabyan Parkway, which would impact the design of the site proposal and add more traffic to the area.

The other part of this project would include a hotel, but it could not commence without a signalized intersection along Roosevelt Road. Other concepts such as self-storage might be included to act as a buffer between the hotel and the warehouse/distribution facility. There has been some interest from a retail developer about this. Mr. Dabareiner indicated that staff has had discussions about linking the hotel/commercial phase more closely with the Home Depot phase. A PUD to consider the entire 80+ area will likely be required to coordinate the land use. At this point, Home Depot is looking at a number of sites for their new ecommerce concept, and they need to determine the City's level of interest for this project. He introduced the representative of IDI Logistics who was present to answer the members' questions.

Jeff Lanaghan, Market Officer for IDI Logistics, spoke to the Committee. IDI is a 30-year industrial development company. He stated they were present to ask for a recommendation to move this project forward to the Planning Commission and Zoning Board of Appeals (PC/ZBA) and to answer any question the Committee members have. He recapped the project details. While they are still learning more about the project from Home Depot, this location is at the top of their list. He clarified that the estimate of daily truck volume was not just for semi-trucks. Mr. Lanaghan then spoke about Home Depot's current procedure for serving ecommerce, and how this presents certain challenges for their stores. As a result, they have come up with a concept whereby contractors can place orders and then have the materials delivered to the job site the next day. He mentioned the advantages for consumers of this business model and that this would only be the third site of its kind in the USA. They hope to have it up and running by 2020, and they believe this is the perfect site for them. They are looking at other sites, but IDI hopes to



show them they have speed to market. He spoke about the site as a whole and that it has been undeveloped for the 20+ years it has been in the hands of the current owner. There is currently no infrastructure at this property, and they estimate the cost for it to be around 7 to 8 million dollars. The taxes on this building would support a TIF request of 10 to 12 million, but since they are only looking for infrastructure funding, there would be a surplus of tax revenue. The project has a lot of roadway to be built, not counting the widening of Fabyan Parkway. They believe the cost of the project to be somewhere in the 70 to 80-million-dollar range. He concluded his presentation saying that they hope to receive a favorable recommendation from the Committee.

Alderman Gagliardi asked if the location would be ecommerce only, and Mr. Lanaghan replied that it will be a warehouse/distribution facility and it will serve their ecommerce. There will be about 180 full-time employees with about half being Home Depot employees.

Alderman Beifuss asked if any sales would be done out of this facility, and Mr. Lanaghan believed there would not be. Alderman Beifuss asked questions about the inbound versus outbound vehicle types and the difference between the "BDC" and "FDC" truckloads. Mr. Lanaghan believed the inbound trucks would be more semis and the outbound trucks to be delivery vans, but he doesn't have all of the information yet. Another representative of IDI, Mr. Jeff Smith, explained that "FDC" shipments go directly to home sites, whereas the "BDC" will be distributed to stores.

Alderman Beifuss stated that one of their concerns is that they want to develop the site with some retail and a hotel, and they will need access to do that. He asked if they knew the distance from Fabyan to Roosevelt for where the signal would be. The applicant answered the minimum distance required is a quarter mile, which would satisfy IDOT. Alderman Beifuss stated they would need to have a signalized intersection there in order to get some retail frontage along Roosevelt Road, and he asked what their commitment is to get one there sooner rather than later. Mr. Lanaghan replied that Home Depot's requirement is immediate, but they have been told that to get approval for a new signal on Roosevelt, it would take 18 to 24 months. If they wait for that to happen first, Home Depot would not be locating here, and most likely the rest of the development would not happen either. He mentioned that they provided a letter to the members from Hamilton Partners who outlined that for retail, you need infrastructure and some development there first in order to make the property viable for more retail and a hotel. They are looking at this as a phased project with IDI Logistics handling Phase One. They are willing to participate with phases two and three as much as makes sense, but his company is an expert in industrial. He confirmed that they do have the hotel lined up.

Alderman Beifuss asked how large of an area is needed for outside storage. Mr. Lanaghan answered it is roughly 152,000 square feet located behind the building by the rail for servicing. Alderman Beifuss asked about the number of acres they plan to develop. Mr. Lanaghan responded there is a 14-acre parcel on the corner they have not been able to make much headway with that owner about, which leaves about 70 acres total.

Alderman Stout indicated that with the traffic studies that need to be done, the commitment of the infrastructure, and the buffering and berms, and the distance from the proposed hotel and retail, this a very positive venture. She asked the members for their opinions.

Alderman Ferguson commented that he sees nothing but positives. After over 20 years being undeveloped, he has seen it go from a sod farm to nothing.

Alderman Birch Ferguson stated that she agrees. She likes all of the elements and she would give it the green light to move forward to the PC/ZBA with the concerns they have outlined.

Alderman Sheahan agreed with that, and stated she likes the idea of it.

Alderman Beifuss stated he thinks it has some positive elements. He has concerns about making sure that the signalization is tied in and that it would be part of any PUD. They already have a lot of warehouse space in West Chicago—they just approved another 500,00 square feet—but this project helps them with this corner of the City. Mr. Lanaghan stated that the timing of the two is completely different and he asked him how he envisioned the two would be tied together. Alderman Beifuss responded that it would be through the PUD. He wants to make certain that the City is not on the hook for a big warehouse with no retail component if the signal does not go through. Mr. Lanaghan pointed out that without the warehouse component, and the infrastructure and roadway access it would provide, the retail will not arrive. However, he promised to do whatever to make the PUD work. Tom Dabareiner stated that staff has some thoughts about how they might make this work.

Alderman Stout concluded that the members want this to move forward and to work out the details of a PUD.

**6. Unfinished Business.** None.

**7. New Business.**

**A. Election of Development Committee Chair and Vice-Chair.**

**Alderman Birch Ferguson moved to nominate Rebecca Stout as Committee Chair and Alderman Beifuss seconded the motion. Voting Aye: Aldermen Beifuss, Birch Ferguson, Ferguson, Gagliardi, Garling, and Sheahan. Voting Nay: 0.**

Alderman Stout noted that while she would normally nominate Alderman Beifuss for Vice-Chair, it was brought to her attention that he is already the chair of another committee.

**Alderman Stout moved to nominate Alderman Birch Ferguson as Committee Vice-Chair and Alderman Beifuss seconded the motion. Voting Aye: Aldermen Beifuss, Ferguson, Gagliardi, Garling, Sheahan and Stout. Voting Nay: 0.**

**8. Reports from Staff. None.**

**9. Adjournment.**

**Alderman Birch Ferguson moved and Alderman Ferguson seconded the motion to adjourn the Development Committee meeting at 7:31 P.M. The Committee members unanimously agreed and the motion carried.**

Respectfully submitted,  
Jane Burke



## CITY OF WEST CHICAGO

### DEVELOPMENT COMMITTEE AGENDA ITEM SUMMARY

**ITEM TITLE:**

Amendment to the Preliminary PUD for Lot 1 for the Jigged Ventures Subdivision to permit the use "Motor Vehicle Sales, Internet based" within Unit 117 at 470 West Roosevelt Road.

Ordinance #: 19-O-0026

**AGENDA ITEM NUMBER:** 4.A.

**FILE NUMBER:** \_\_\_\_\_

**COMMITTEE AGENDA DATE:** July 8, 2019

**COUNCIL AGENDA DATE:** \_\_\_\_\_

**STAFF REVIEW:** Tom Dabareiner, AICP

**SIGNATURE** \_\_\_\_\_

**APPROVED BY CITY ADMINISTRATOR:** Michael Guttman

**SIGNATURE** \_\_\_\_\_

**ITEM SUMMARY:**

The proposal seeks to amend the PUD to allow "Motor Vehicle Sales, Internet-Based" as a permitted use at 470 West Roosevelt Road, Unit 117, within the Jigged Ventures Subdivision. As part of any approval, no vehicles could be displayed, offered for sale, or stored outside of the building. All other codes and requirements must be adhered to.

The location is zoned ORI, which, by exclusion, currently prohibits Internet-based motor vehicle sales. The PUD amendment would allow the use in only one location within the Jigged Ventures Subdivision. If approved, the proposed tenant, Autosport, Inc., would move from Batavia and operate from that location.

No site work is proposed. However, the petitioner proposes certain building modifications to create a new office area in the front, and allow for the entry and storage of vehicles in a showroom. A building permit is required for this work.

The Plan Commission/ZBA reviewed the proposed amendment at its meeting held July 2, 2019 and members recommended unanimously in favor by a vote of 6-0.

**ACTION PROPOSED:**

Recommendation to approve Ordinance #19-O-0026.

**COMMITTEE RECOMMENDATION:**

Pc: Draft Ordinance

ORDINANCE NO. 19-O-0026

AN ORDINANCE APPROVING AN AMENDMENT TO THE PRELIMINARY PUD PLAN  
FOR LOT 1 OF THE JIGGED VENTURES SUBDIVISION  
ROOSEVELT ROAD BETWEEN TOWN AND PEAR ROADS

WHEREAS, on or about May 21, 2019, Jim Beavers of Jigged Ventures, L.L.C. (the "APPLICANT"), filed an application for an amendment to the preliminary PUD plan for Lot 1 of the Jigged Ventures Subdivision with respect to the property legally described on Exhibit "A" attached hereto and incorporated herein (the "SUBJECT REALTY"), commonly known as 470 West Roosevelt Road, Unit 117; and

WHEREAS, the corporate authorities of the City of West Chicago (the "CITY") approved the preliminary PUD for Jigged Ventures Subdivision on October 20, 2003 according to Ordinance 03-O-0072; and

WHEREAS, the CITY approved an amendment to the preliminary PUD for Jigged Ventures Subdivision on August 16, 2004 according to Ordinance 04-O-0070; and

WHEREAS, Notice of Public Hearing on the proposed amendment to the preliminary PUD of the SUBJECT REALTY was published in the Daily Herald on or about June 17, 2019, all as required by the ordinances of the CITY and the statutes of the State of Illinois; and

WHEREAS, all other notices required by law have been given; and

WHEREAS, a Public Hearing was conducted by the Plan Commission/Zoning Board of Appeals of the CITY, commencing on July 2, 2019, pursuant to said Notice; and

WHEREAS, at the Public Hearing, the APPLICANT provided testimony in support of its application, and all interested parties had an opportunity to be heard; and

WHEREAS, the corporate authorities of the CITY have received the recommendation of the Plan Commission/Zoning Board of Appeals which contains specific findings of fact, pursuant to Recommendation No. 2019-RC-0011, a copy of which is attached hereto as Exhibit "B" which is, by this reference, incorporated herein.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of West Chicago, Du Page County, Illinois, in regular session assembled, as follows:

Section 1. An amendment to the preliminary PUD plan for Lot 1 of the Jigged Ventures Subdivision is hereby granted for the SUBJECT REALTY amending subject to the following Conditions:

- A. The SUBJECT REALTY shall be required to comply with all applicable conditions of approval previously approved by Ordinance 03-O-0072 and Ordinance 04-O-0070 for the Jigged Ventures Subdivision Planned Unit Development.



- B. The Permitted and Prohibited Use List of Jigged Ventures Subdivision, consisting of three (3) pages, as a component of Exhibit "C" of Ordinance 04-O-0070 is hereby amended to include the following permitted use:

24. Motor Vehicle Sales, Internet Based for Unit 117 of Lot 1 of Jigged Ventures Subdivision

- C. The approved amendment does not permit any site work or exterior modifications to the building, other than a flush mounted sign on the building, to be performed on Lot 1.
- D. Any proposed flush mounted signage on the building shall require a sign permit subject to review and approval by City staff.
- E. No vehicles may be displayed, offered for sale, or stored outside of the building.
- F. No display or signage may be installed on the property or on the exterior of the building, other than a flush mounted sign identifying the name of the business, which indicates the sale of vehicles.

Section 2. That the recommendation and findings of fact of the Plan Commission/Zoning Board of Appeals previously incorporated herein as Exhibit "B" be and the same are hereby adopted as the findings of fact of the City Council.

Section 3. That all ordinances and resolutions, or parts thereof, shall, to the extent not expressly modified by the terms and conditions of this Ordinance, remain in full force and effect as therein provided.

Section 4. That this Ordinance shall be in full force and effect ten (10) days from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

Alderman Beifuss	_____	Alderman Chassee	_____
Alderman Sheahan	_____	Alderman Brown	_____
Alderman Hallett	_____	Alderman Ferguson	_____
Alderman Birch-Ferguson	_____	Alderman Dimas	_____
Alderman Swiatek	_____	Alderman Garling	_____
Alderman Stout	_____	Alderman Short	_____
Alderman Ligino-Kubinski	_____	Alderman Gagliardi	_____



APPROVED as to form: \_\_\_\_\_  
City Attorney

APPROVED THIS \_\_\_\_\_ day of \_\_\_\_\_ 2019.

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith

PUBLISHED: \_\_\_\_\_

## **EXHIBIT "A"**

### **Subject Realty Legal Description**

JIGGED VENTURES: UNIT NUMBER 117 IN 470 ROOSEVELT ROAD CONDOMINIUMS, AS DELINEATED ON A PLAT OF SURVEY OF THE FOLLOWING DESCRIBED TRACT OF LAND: LOT 1 IN JIGGED VENTURES SUBDIVISION, BEING A SUBDIVISION OF PART OF LOT 16, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NO. 2005-070407 ON APRIL 6, 2005 IN DUPAGE COUNTY, ILLINOIS, WHICH PLAT OF SURVEY IS ATTACHED AS EXHIBIT "A" TO THE DECLARATION OF CONDOMINIUM RECORDED NOVEMBER 29, 2005 AS DOCUMENT NUMBER R2005-264471 AND RE-RECORDED FEBRUARY 8, 2006 AS DOCUMENT NUMBER R2006-024155; TOGETHER WITH ITS UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS.

P.I.N. 04-16-203-002

## **EXHIBIT “B”**

### **RECOMMENDATION NO. 2019-RC-0011**

**TO:** Honorable Mayor and City Council

**SUBJECT:** PC 19-12  
Amendment to the Preliminary Planned Unit Development Plan of Lots 1 of the Jigged Ventures Subdivision  
470 Roosevelt Road

**DATE:** July 2, 2019

**DECISION:** The Plan Commission/Zoning Board of Appeals (8-0 vote) recommended approval of the request.

#### **RECOMMENDATION:**

After holding a public hearing and after review of the requested amendment to the preliminary PUD of Lot 1 of the Jigged Ventures Subdivision, the Plan Commission/Zoning Board of Appeals (PC/ZBA) recommended approval, subject to the following conditions:

- A. The approved amendment does not permit any site work or exterior modifications to the building, other than a flush mounted sign on the building, to be performed on Lot 1.
- B. Any proposed flush mounted signage on the building shall require a sign permit subject to review and approval by City staff.
- C. No vehicles may be displayed, offered for sale, or stored outside of the building.
- D. No display or signage may be installed on the property or on the exterior of the building, other than a flush mounted sign identifying the name of the business, which indicates the sale of vehicles.

The recommendation is based on the following findings of fact:

1. *In what respects the proposed plan is consistent with the comprehensive plan and the stated purpose and intent of the PUD regulations:*

**The City’s Comprehensive Plan contemplates ORI for this area and the intent of the regulations established as part of the originally approved PUD were to be low intensity service and office use. Internet based motor vehicle sales are unique and a relatively new concept that may not have been contemplated as a permitted use in the planned unit development at the time the development was proposed and approved.**



2. *The extent to which the proposed plan meets the requirements and standards of the PUD regulations:*

**City staff has reviewed the proposed amendment, plans and documents for the proposal and determined that it adequately addresses the standards. A building permit will be required prior to any interior modifications occurring.**

3. *The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property including, but not limited to, the density, dimension, area, bulk and use and the reasons why such departures are deemed to be in the public interest:*

**No zoning deviations are proposed to accommodate the proposed use.**

4. *The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space and furthers amenities of light and air, recreation and visual enjoyment:*

**With only four (4) employees, the proposed use will have a limited demand for parking on the site. Very little traffic from patrons is anticipated other than those picking up vehicles that have been purchased online. The previous use as a furniture showroom and store would have had a greater demand for parking given that sales were driven primarily at the site rather than online.**

5. *The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood:*

**No modifications to the site or the exterior of the building are proposed. No vehicles will be stored outside of the building and no displays or advertising are proposed. In fact, the Zoning Code specifically prohibits vehicles from being stored or displayed for sale outside for internet based auto sales. The proposed use will be compatible with the existing service/office uses on the site. The amendment will allow only the subject tenant space, Unit 117 of Lot 1, to have an internet based motor vehicle sales to prevent the same use from locating elsewhere in the building or in the entire development.**

6. *The desirability of the proposed plan as regards physical development, tax base and economic well-being of the City:*

**The proposed amendment is to accommodate a commercial use that will have a very limited impact on public services and will not have a detrimental effect on the surrounding area.**

Respectfully submitted,

Barbara Laimins  
Chairperson

VOTE:

For	Against	Abstain	Absent
Hale			Devitt
Kasprak			
Faught			
Henkin			
Dettman			
Laimins			

## CITY OF WEST CHICAGO

### DEVELOPMENT COMMITTEE AGENDA ITEM SUMMARY

**ITEM TITLE:**

Amendments to the Preliminary PUD for Lots 2-4 and Final PUD for Lots 1-3 for the Jigged Ventures Subdivision for Contractor Equipment Sales and Increased Allowed Storage, respectively.

Ordinance #: 19-O-0025

**AGENDA ITEM NUMBER:** 5. A.

**FILE NUMBER:** \_\_\_\_\_

**COMMITTEE AGENDA DATE:** July 8, 2019

**COUNCIL AGENDA DATE:** \_\_\_\_\_

**STAFF REVIEW:** Tom Dabareiner, AICP

**SIGNATURE** \_\_\_\_\_

**APPROVED BY CITY ADMINISTRATOR:** Michael Guttman

**SIGNATURE** \_\_\_\_\_

**ITEM SUMMARY:**

Representatives from Jigged Ventures appeared before the Development Committee on November 13, 2018 to review this concept. They were seeking possible amendments to the PUD to modify the permitted use list and certain build-out requirements (e.g., setbacks and building design) for the 560 W. Roosevelt and 600 W. Roosevelt lots. At that time, there was consensus among Development Committee members to support the proposal, as presented. However, a request to delay some of the landscaping installation was not discussed at that meeting and is reviewed below.

The proposal seeks to amend the PUD to allow redevelopment of Lot 1 (at 600 W. Roosevelt) with an 11,885 square foot contractor's equipment sales and leasing building and a warehouse. This change would allow Atlas Bobcat to relocate from its current location at 490 Topsoil Drive and benefit from exposure along a major highway. The proposal would also allow Lot 2 (at 560 W. Roosevelt) to contain a 16,045 square foot warehouse/office building. Groebner & Associates would relocate there from their current location at 450 Fenton Lane, which affords more room for growth and better highway exposure.

To accomplish this, the PUD amendment would add two new permitted uses. First, it would add "Contractor's Equipment Sales and Leasing with Outside Ancillary Storage" for Lot 1. It also would add "Outside Ancillary Storage to a Permitted Use" for Lot 2. The amendment would accomplish other things, as well:

1. Increase the allowable warehouse floor area from 67% to 80%, which is seen as a concession to the current marketplace.
2. Modify the building design somewhat by reducing the required window space while increasing the amount of brick.
3. Grant deviations to reduce the required 20 foot setback along Roosevelt Road to 10.4 feet to allow construction of three concrete pads for the display of Atlas Bobcat equipment.
4. Reduce the required 10 foot setback for a freestanding sign along Roosevelt Road to three feet for Lot 1 and to one foot for Lot 2.

At the Plan Commission/ZBA meeting on July 2, 2019, a new request came from the petitioner to delay installation of landscaping on Lot 2. The PUD currently requires installation of the landscaping on both Lots 1 and 2 prior to issuance of a Certificate of Occupancy for Lot 1, regardless of the construc-



tion or occupancy status of Lot 2. The intent is to provide an attractive and uniform appearance from Roosevelt Road. By delaying the installation of landscaping on Lot 2, without any guarantee that a business will actually move forward to build and occupy Lot 2, these appearance goals are not met. Staff recommends retaining the current language regarding landscaping, as indicated in the attached draft.

The Plan Commission/ZBA reviewed the proposed amendments and recommended unanimously in favor by a vote of 6-0, including the change regarding landscaping. However staff remains concerned with the landscaping requirement and believes the current language in the PUD better serves the City's goals for the properties.

**ACTION PROPOSED:**

Recommendation to approve Ordinance #19-O-0025.

**COMMITTEE RECOMMENDATION:**

Pc: Draft Ordinance #19-O-0025  
Exterior Building Elevations  
Final PUD  
Final Landscape Plan

ORDINANCE NO. 19-O-0025

AN ORDINANCE APPROVING A FOURTH AMENDMENT TO THE PRELIMINARY PUD  
PLAN OF LOTS 2 THROUGH 4 OF THE JIGGED VENTURES SUBDIVISION AND  
APPROVING A SECOND AMENDMENT TO THE FINAL PUD FOR LOTS 1 THROUGH 3  
IN THE JIGGED VENTURES RESUBDIVISION  
ROOSEVELT ROAD BETWEEN TOWN AND PEAR ROADS

WHEREAS, on or about February 28, 2019, Jim Beavers of Jigged Ventures, L.L.C. (the "APPLICANT"), filed an application for a fourth amendment to the preliminary PUD plan for Lots 2, 3, and 4 of Jigged Ventures Subdivision and a second amendment to the final PUD for Lots 1, 2, and 3 in the Jigged Ventures Resubdivision, with respect to the property legally described on Exhibit "A" attached hereto and incorporated herein (the "SUBJECT REALTY"); and

WHEREAS, the corporate authorities of the City of West Chicago (the "CITY") approved the preliminary PUD for Jigged Ventures Subdivision on October 20, 2003 according to Ordinance 03-O-0072; and

WHEREAS, the CITY approved a first amendment to the preliminary PUD for Jigged Ventures Subdivision on August 16, 2004 according to Ordinance 2004-O-0070; and

WHEREAS, the CITY approved a second amendment to the preliminary PUD for Jigged Ventures Subdivision on January 21, 2008 according to Ordinance 2008-O-0002; and

WHEREAS, the CITY approved a third amendment to the preliminary PUD for Jigged Ventures Subdivision and a first amendment to the final PUD for Lots 1, 2, and 3 in the Jigged Ventures Resubdivision on September 21, 2015 according to Ordinance 2015-O-0034; and

WHEREAS, Notice of Public Hearing on proposed fourth amendment to the preliminary PUD and second amendment to the final PUD of the SUBJECT REALTY was published in the Daily Herald on or about June 17, 2019, all as required by the ordinances of the CITY and the statutes of the State of Illinois; and,

WHEREAS, a Public Hearing was conducted by the Plan Commission/Zoning Board of Appeals of the CITY, commencing on July 2, 2019, pursuant to said Notice; and,

WHEREAS, at the Public Hearing, the APPLICANT provided testimony in support of its application, and all interested parties had an opportunity to be heard; and,

WHEREAS, the corporate authorities of the CITY have received the recommendation of the Plan Commission/Zoning Board of Appeals which contains specific findings of fact, pursuant to Recommendation No. 2019-RC-0010, a copy of which is attached hereto as Exhibit "B" which is, by this reference, incorporated herein.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of West Chicago, Du Page County, Illinois, in regular session assembled, as follows:

Section 1. That this Ordinance shall constitute approval of the following documents with respect to the SUBJECT REALTY, copies of which are attached hereto as Exhibit "C", which are, by this reference, incorporated herein and consisting of:

1. The Final Plat of Jigged Ventures Resubdivision prepared by SEC Group, Inc., dated April 27, 2007 with a final revision date of November 27, 2007, consisting of two (2) sheets.
2. The Final PUD Plan prepared by HR Green, Inc. dated February 20, 2019 with a final revision date of May 16, 2019 consisting of one (1) sheet.
3. The Final Landscape Plan prepared by HR Green, Inc. dated February 20, 2019 with a final revision date of June 7, 2019 consisting of four (4) sheets.
4. The Exterior Building Elevation Plans prepared by M.J. Root Architect, dated June 14, 2019 consisting of two (2) sheets.
5. Phasing Schedule of Jigged Ventures Resubdivision, consisting of one (1) page.
6. Permitted and Prohibited Use List of Jigged Ventures Subdivision consisting of three (3) sheets.

Section 2. That the documents referenced in Section 1 above shall supersede in all respects the documents approved in Section 1 of Ordinance 2008-O-0002, and amended in Section 1 of Ordinance 2015-O-0034, only for Lots 2, 3, and 4 of the original Jigged Ventures Subdivision.

Section 3. All construction, use, operation, and maintenance of the SUBJECT REALTY shall be in substantial conformance with the documents listed above in Section 1 of this Ordinance, in addition to the terms and conditions set forth in Section 8 of this Ordinance.

Section 4. That the following deviations from the requirements of the City's Subdivision Code of Ordinances previously approved by Ordinance Nos. 2003-O-0072, 2004-O-0070, and 2008-O-0002 are hereby reaffirmed and approved with respect to the SUBJECT REALTY:

1. From Section 9.3-4(B), so as to not provide public sidewalks.
2. From Section 9.3-8, so as to increase the maximum grading of a slope from 4:1 to 3:1.
3. From Section 10.2-5, Table 1, so as to reduce the width of a minor right-of-way from sixty-six (66) feet to thirty-eight (38) feet.



4. From Section 10.2-10(B), so as to reduce the diameter of the cul-de-sac bulb from one hundred twenty (120) feet to one hundred three (103) feet.
5. From Section 15-5, so as to not plant the parkway trees with the required right-of-way, but instead within the required landscape setbacks of the lots within the PUD.
6. From Section 14-44(5)(c), so as to increase the maximum depth of the stormwater storage within the detention basin from four (4) feet to four and thirty-eight hundredths (4.38) feet and the maximum slope from 10:1 to 4:1.

Section 5. That the following new deviations from the requirements of the CITY's Zoning Code of Ordinances are hereby granted with respect to the SUBJECT REALTY:

1. From Section 11.3-2(C)(1), so as to reduce the corner side landscape yard along Roosevelt Road for Lots 1 and 2 in the Jigged Ventures Resubdivision from twenty (20) feet to ten and fourth tenths (10.4) feet.
2. From Section 12.7-3, so as to reduce setback the for a freestanding sign along Roosevelt Road on Lot 1 from five (5) feet to three (3) feet and on Lot 2 from five (5) feet to one (1) foot.
3. From Section 14.8(B), so as to reduce the required landscape points along the south lot line of Lot 1 from 512 points to 500 points.
3. From Section 11.3-4(M), so as to increase the buildings' maximum warehousing floor area ancillary to a permitted use from sixty-seven (67) percent to eighty (80) percent.

Section 6. That the following deviations from the requirements of the CITY'S Zoning Code of Ordinances previously approved by Ordinance Nos. 2003-O-0072, 2004-O-0070, and 2008-O-0002 are hereby reaffirmed and approved with respect to the SUBJECT Realty:

1. From Section 14.6, so as to increase the maximum slope of berms from 4:1 to 3:1.
2. From Section 15.3 to allow the APPLICANT to construct the final PUD according to the phasing schedule approved by the CITY.
3. From Sections 6.12 and 11.2-2(C)(1), so as to reduce the front yard landscape setback along Topsoil Drive for Lot 4 in the original Jigged Ventures Subdivision from twenty (20) feet to seventeen and seven tenths (17.7) feet.
4. From Sections 6.12 and 11.3-2(C)(1), so as to reduce the front landscape yard along the Topsoil Drive cul-de-sac bulb for Lot 1 in the Jigged Ventures Resubdivision from twenty (20) feet to seven and forty-nine hundredths (7.49) feet.



5. From Sections 6.12 and 11.3-2(C)(1), so as to reduce the front landscape yard along Topsoil Drive for Lot 2 in the Jigged Ventures Resubdivision from twenty (20) feet to nine (9) feet.
6. From Sections 6.12 and 11.3-2(C)(2), so as to reduce the corner side landscape yard along Kress Creek Drive for Lot 2 in the Jigged Ventures Resubdivision from twenty (20) feet to thirteen and nine tenths (13.9) feet.
7. From Section 11.3-2(C)(3), so as to eliminate the east side landscape yard for Lot 1 and the west side landscape yard for Lot 2 in the Jigged Ventures Resubdivision.

Section 7. That the deviation from the requirements of Section 11.3-4(M) of the CITY's Zoning Code of Ordinances, so as to increase the buildings' maximum warehousing floor area ancillary to a permitted use from fifty (50) percent to sixty-seven (67) percent previously approved by Ordinance 2008-O-0002, is hereby deleted in its entirety as it is no longer applicable to the SUBJECT REALTY.

Section 8. That a fourth amendment to a Preliminary PUD for Lots 2 through 4 of the Jigged Ventures Subdivision and a second amendment to a Final PUD for 1 through 3 of the Jigged Ventures Resubdivision are hereby granted subject to the following conditions, which are hereby approved with respect to the SUBJECT REALTY:

1. Condition 1 in Section 9 of Ordinance 2008-O-0002 shall be deleted in its entirety and instead, the applicant shall adhere to the amended phasing schedule as presented in the Phasing Schedule of Jigged Ventures Resubdivision, incorporated herein as a component of Exhibit "C".
2. Conditions 2 – 5 in Section 9 of Ordinance 2008-O-0002 shall remain in full force and effect.
3. Condition 6 in Section 9 of Ordinance 2008-O-0002 shall be deleted in its entirety and replaced with the following:
  - a. The buildings to be constructed on Lots 1 and 2 shall contain the following:
    - i. A minimum of 14% glass and 86% masonry on their north façades.
    - ii. The east and west façades of the building on Lot 1 contain a minimum 54% masonry.
    - iii. The east façade of the building on Lot 2 contain a minimum of 3% glass and 66% masonry.
    - iv. The west façade of the building on Lot 2 contain a minimum 56% masonry.
4. Conditions 7 and 8 of Ordinance 2008-O-0002 shall remain in full force and effect.

Section 9. That the recommendation and findings of fact of the Plan Commission/Zoning Board of Appeals previously incorporated herein as Exhibit "B" be and the same are hereby adopted as the findings of fact of the City Council.

Section 10. That all ordinances and resolutions, or parts thereof, shall, to the extent not expressly modified by the terms and conditions of this Ordinance, remain in full force and effect as therein provided.

Section 11. That this Ordinance shall be in full force and effect ten (10) days from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

Alderman Beifuss	_____	Alderman Chassee	_____
Alderman Sheahan	_____	Alderman Brown	_____
Alderman Hallett	_____	Alderman Ferguson	_____
Alderman Birch-Ferguson	_____	Alderman Dimas	_____
Alderman Swiatek	_____	Alderman Garling	_____
Alderman Stout	_____	Alderman Short	_____
Alderman Ligino-Kubinski	_____	Alderman Gagliardi	_____

APPROVED as to form: \_\_\_\_\_  
City Attorney

APPROVED THIS \_\_\_\_\_ day of \_\_\_\_\_ 2019.

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith

PUBLISHED: \_\_\_\_\_

## **EXHIBIT "A"**

### **Subject Realty Legal Description**

LOTS 1, 2, AND 3 IN JIGGED VENTURES RESUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 28, 2009 AS DOCUMENT R2009-134445, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.s 04-16-103-013, 04-16-103-014, and 04-16-103-015



## **EXHIBIT “B”**

### **RECOMMENDATION NO. 2019-RC-0010**

**TO:** Honorable Mayor and City Council

**SUBJECT:** PC 19-10  
Fourth Amendment to the Preliminary Planned Unit Development Plan of Lots 2 through 4 of the Jigged Ventures Subdivision and Second to the Final Planned Unit Development Plan of Lots 1 through 3 in the Jigged Ventures Resubdivision  
Roosevelt Road between Town and Pearl Roads

**DATE:** July 2, 2019

**DECISION:** The Plan Commission/Zoning Board of Appeals (8-0 vote) recommended approval of the request.

#### **RECOMMENDATION:**

After holding a public hearing and after review of the requested amendment to the preliminary PUD of Lots 2 through 4 of the Jigged Ventures Subdivision and to the Final PUD Plan for Lots 1 through 3 in the Jigged Ventures Resubdivision, the Plan Commission/Zoning Board of Appeals (PC/ZBA) recommended approval, subject to the following conditions:

1. The site shall be developed in substantial compliance with the following plans:
  - a. The Final PUD Plan prepared by HR Green, Inc. dated February 20, 2019 with a final revision date of May 16, 2019 consisting of one (1) sheet, attached as Exhibit “E”.
  - b. The Final Landscape Plan prepared by HR Green, Inc. dated February 20, 2019 with a final revision date of June 7, 2019 consisting of four (4) sheets, attached as Exhibit “F”.
  - c. The Exterior Building Elevation Plans prepared by M.J. Root Architect, dated June 14, 2019 consisting of two (2) sheets, attached as Exhibit “G”.
2. The uses permitted in the Jigged Ventures Resubdivision shall be limited to those listed as permitted in the amended Permitted and Prohibited Use List of the Jigged Ventures Resubdivision, attached as Exhibit “H”.
3. Condition 1 in Section 9 of Ordinance 2008-O-0002 shall be deleted in its entirety and instead, the applicant shall adhere to the amended phasing schedule as presented in the Phasing Schedule of Jigged Ventures Resubdivision, incorporated herein as a component of Exhibit “C”.
4. Conditions 2, 3, and 5 in Section 9 of Ordinance 2008-O-0002 shall remain in full force and effect.

5. Condition 4 in Section 9 of Ordinance 2008-O-0002 shall be deleted in its entirety and replaced with the following:

The landscaping proposed along Roosevelt Road on Lot 1 and along the west lot line of Lot 1 shall be installed before final occupancy is granted for Lot 1 and the landscaping proposed along Roosevelt Road on Lot 2 shall be installed before final occupancy is granted for Lot 2.

6. Condition 6 in Section 9 of Ordinance 2008-O-0002 shall be deleted in its entirety and replaced with the following:

- a. The buildings to be constructed on Lots 1 and 2 shall contain the following:

- i. A minimum of 14% glass and 86% masonry on their north façades.
- ii. The east and west façades of the building on Lot 1 contain a minimum 54% masonry.
- iii. The east façade of the building on Lot 2 contain a minimum of 3% glass and 66% masonry.
- iv. The west façade of the building on Lot 2 contain a minimum 56% masonry.

7. Conditions 7 and 8 of Ordinance 2008-O-0002 shall remain in full force and effect.

The recommendation is based on the following findings of fact:

1. *In what respects the proposed plan is consistent with the comprehensive plan and the stated purpose and intent of the PUD regulations:*

**The proposed plan is designed to be compatible with the City's Comprehensive Plan which contemplates ORI for this area and the intent of the regulations established as part of the originally approved PUD and this proposed PUD amendment. The amendment to the uses permitted for Lots 1 and 2 are consistent with the uses in the overall PUD.**

2. *The extent to which the proposed plan meets the requirements and standards of the PUD regulations:*

**The petitioner has provided documentation indicating the proposed plan meets all of the necessary requirements and standards of the PUD regulations as defined in Section 15 of the West Chicago Zoning Ordinance. City staff has reviewed the plans and documents for the proposal and determined that it adequately addresses the standards.**

3. *The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property including, but not limited to, the density, dimension, area, bulk and use and the reasons why such departures are deemed to be in the public interest:*

**Several zoning deviations were previously requested and approved from the zoning regulations. A limited number of zoning deviations are currently being requested in order to allow better exposure for the businesses to be located on Lots 1 and 2.**

4. *The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space and furthers amenities of light and air, recreation and visual enjoyment:*

**The proposed plan addresses shared vehicular use areas, will be served with a previously approved regional detention facility, and will provide adequate visual screens where necessary.**

5. *The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood:*

**The proposed plan provides for harmonious uses that will blend well with the existing adjacent uses.**

6. *The desirability of the proposed plan as regards physical development, tax base and economic well-being of the City:*

**The proposed plan is designed to accommodate commercial and light industrial users on-site and promote the positive development of the subject property.**

Respectfully submitted,

Barbara Laimins  
Chairperson

**VOTE:**

**For**

**Against**

**Abstain**

**Absent**

Hale

Devitt

Kasprak

Faught

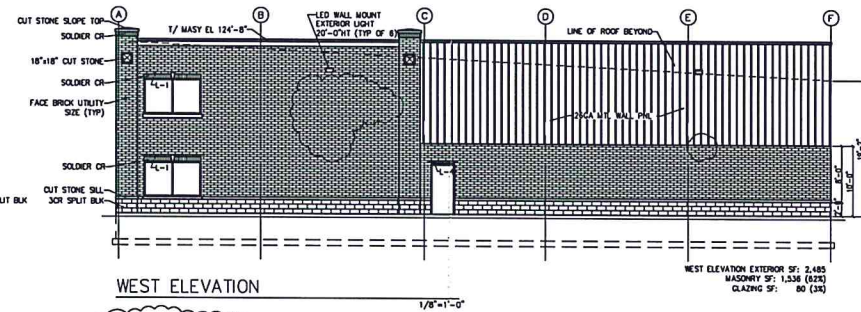
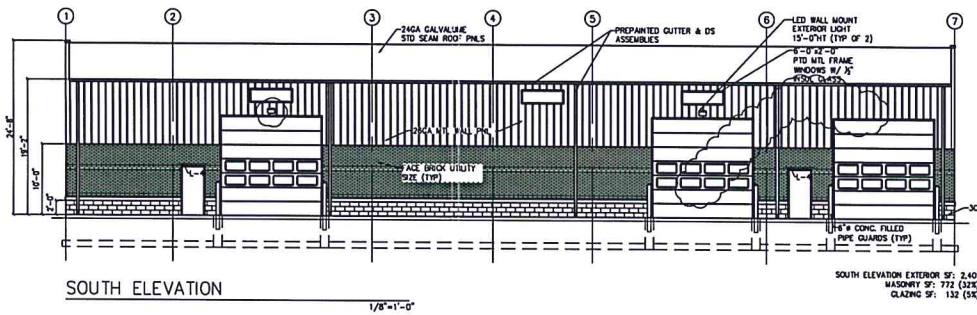
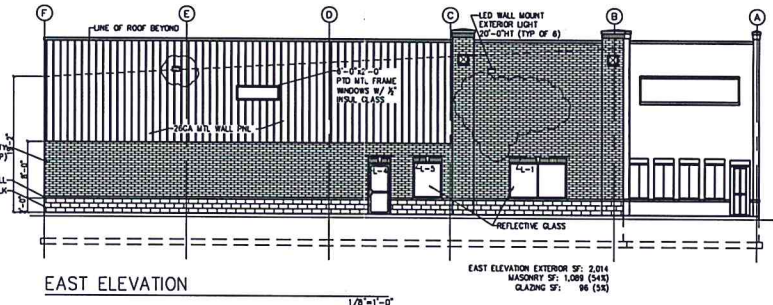
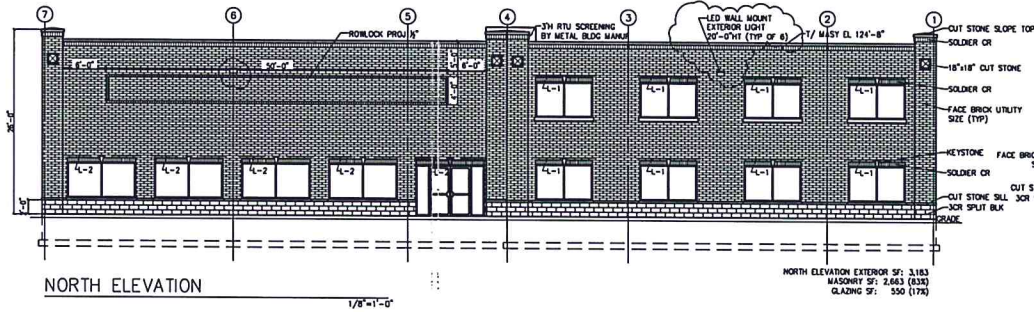
Henkin

Dettman

Laimins



# EXHIBIT "G"



## HANDRAIL AND GUARDS LOAD REQUIREMENTS

- HANDRAILS AND GUARDS ARE TO BE DESIGNED TO RESIST A LOAD OF 50 POUNDS PER LINEAL FOOT (50 LF IN/IN) APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE SUPPORTING THE RAIL OR GUARD.
- HANDRAIL ASSEMBLY ARE ALSO TO BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS (89 IN) APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. THIS LOAD CAN BE CONSIDERED INDEPENDENTLY OF THE UNIFORM LOAD NOTED PREVIOUSLY.
- INTERMEDIATE RAILS, THAT IS, THOSE NOT THE HANDRAIL, ARE TO BE ABLE TO RESIST A LOAD OF 50 POUNDS (50 LF IN/IN) OR AN AREA NOT TO EXCEED 1 SF. (6.09 M) INCLUDING THE OPENINGS AND SPACES BETWEEN RAILS. THESE ARE NOT REQUIRED TO BE SUPERIMPOSED WITH OTHER RAILING LOADS NOTED ABOVE.
- GUARDS RANGE FROM 34" TO 38" (864 TO 965) IN HEIGHT WHEN LOCATED ALONG THE SIDES OF AN OPEN STAIR.
- GUARDS ARE TO BE DESIGNED WITH A PATTERN FROM THE FLOOR UP TO 34" (864) SUCH THAT A SPHERE 4" (102) IN DIAMETER CANNOT PASS THROUGH. IN BUILDINGS W/SHOP AREAS 21" SPHERE SHALL NOT PASS THROUGH. FROM A HEIGHT FROM 34" TO 42" (864 TO 1067), THE PATTERN MAY BE MORE OPEN, ALLOWING A SPHERE UP TO 18" (457) IN DIAMETER TO PASS.
- 38" (914) HIGH MINIMUM ABOVE WALKING SURFACES.



## TYPICAL STAIR DETAIL

- STAIR HANDRAILS TO BE RETURNED TO A WALL OR A POST.
- SPACE BETWEEN STAIR WALLS SHALL NOT CLEAR TO HAVE GUARD TO PREVENT VISUALLY IMPAIRED PERSON FROM WALKING UNDER.
- PROVIDE DETECTABLE WARNING AT TOP OF STAIR.

## STAIR AND RAILING REQUIREMENTS DIAGRAM

HEIGHT OF GUARD IS MEASURED FROM THE LEADING EDGE OF THE TREADS ON STAIRWAY.

THE TRIANGULAR SPACE BETWEEN THE TREAD, RISE AND RAIL MAY ALLOW A SPHERE NO MORE THAN 4" (102) IN DIAMETER TO PASS.

NOTE: PROVIDE ADDRESS MARKINGS, MIN. 4" HIGH, CONTRASTING COLORS, VISIBLE FROM STREET.

## TRASH ENCLOSURE ELEVATION

1/8"=1'-0"



NEW BUILDING FOR  
**JIGGED VENTURES #3 LOT 1**  
 IL RT 38 ROSEVELT RD WEST CHICAGO, ILLINOIS  
**m.j.root · architect**

324 center rd. Frankfort, Illinois 60423

815-464-0777

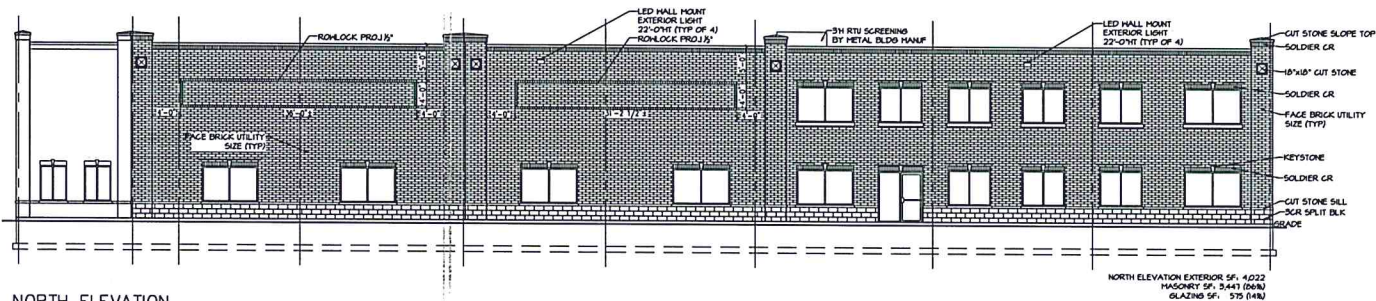
DATE  
 4/15/2019

PROJECT

LOCATION

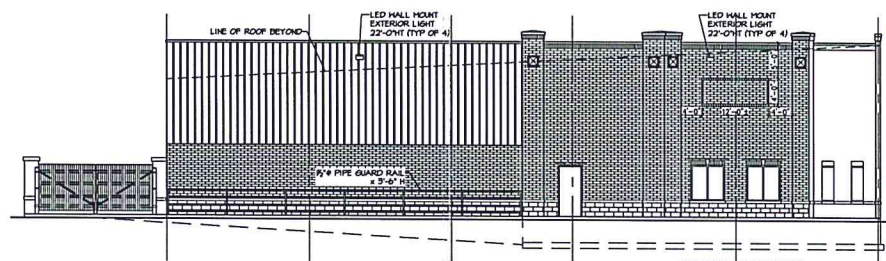
SCALE

4 of 6



NORTH ELEVATION

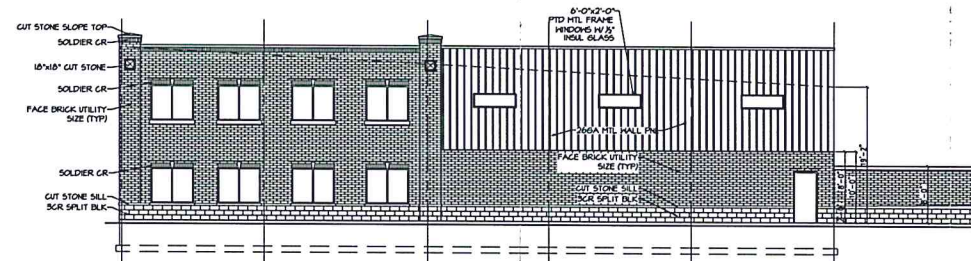
1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

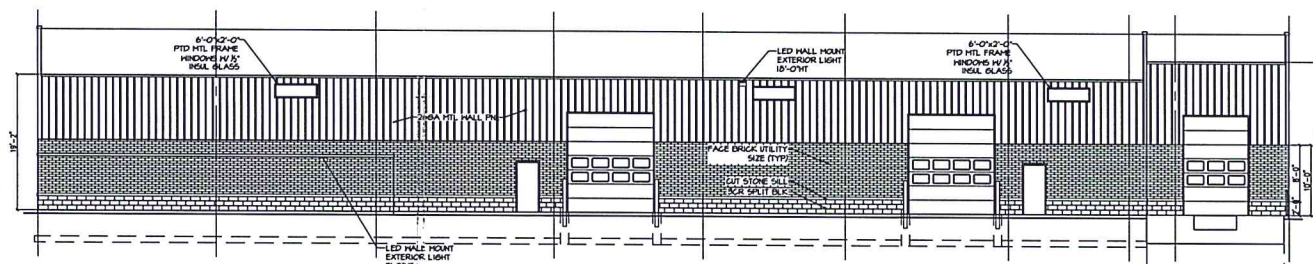
EAST ELEVATION EXTERIOR SF, 2,240  
MASONRY SF, 1,521 (68%)  
GLAZING SF, 60 (3%)



WEST ELEVATION

1/8"=1'-0"

WEST ELEVATION EXTERIOR SF, 2,400  
MASONRY SF, 1,562 (65%)  
GLAZING SF, 212 (9%)



SOUTH ELEVATION

1/8"=1'-0"

SOUTH ELEVATION EXTERIOR SF, 3,434  
MASONRY SF, 1,313 (40%)  
GLAZING SF, 102 (3%)

TOTAL EXTERIOR SF, 12,240  
MASONRY SF, 7,193 (59%)  
GLAZING SF, 1,008 (8%)



	NEW BUILDING FOR JIGGED VENTURES #4 LOT 2		6/14/2019
	JL RT 38 ROSEVELT RD WEST CHICAGO, ILLINOIS		revised
	m.j.root · architect		drawing
	324 center rd. frankfort, illinois 60423		A4

815-464-0777



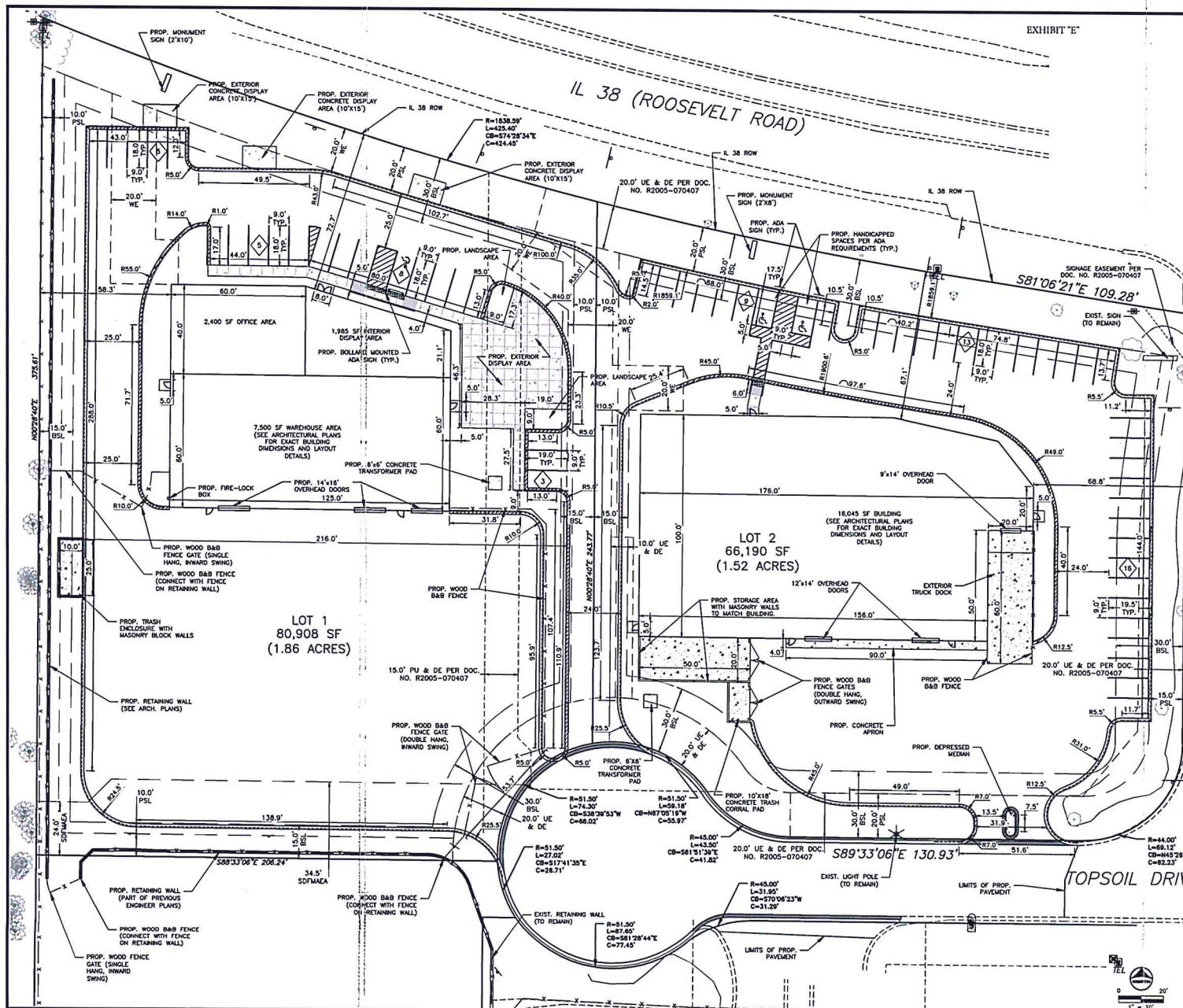


EXHIBIT "E"

**LEGEND**

- DENOTES STANDARD PAYMENT SECTION
- DENOTES P.C. SIDEWALK
- DENOTES DETECTABLE WARNING
- DENOTES STANDARD CURB & GUTTER
- DENOTES REVERSE CURB & GUTTER
- DENOTES DEPRESSURE CURB & GUTTER (LENGTH NOTED ON SITE PLAN)

**ANNOTATION ABBREVIATIONS:**

- BSL = BUILDING SETBACK LINE
- PSL = PARKING SETBACK LINE
- WE = WATERMAIN EASEMENT
- UE = UTILITY EASEMENT
- DE = DRAINAGE EASEMENT
- ROW = RIGHT-OF-WAY
- SOFMAEA = STORMWATER DETENTION FACILITY MAINTENANCE ACCESS EASEMENT AREA

**SITE DATA:**

**PROPOSED LOT 1** 80,908 S.F. (1.86 AC.)

FLOOR AREA: 11,885 S.F. - FAR = 0.15  
OFFICE: 2,400 GFA - 20%  
WAREHOUSE: 8,485 GFA - 20%

**PARKING CALC.**  
4 SPACES/1,000 GFA (OFFICE) = 10 SPACES  
1 SPACE/1,000 GFA (WAREHOUSE) = 10 SPACES  
TOTAL SPACES REQUIRED: 20 SPACES  
TOTAL PARKING SPACES ON LOT 1 = 1 ADA, 20 TYPICAL

**BUILDING COVERAGE:** 11,885 S.F. (27.284 AC) - 14.7%  
**PAYMENT COVERAGE:** 49,537 S.F. (1,138 AC) - 61.4%  
**LANDSCAPE AND OPEN SPACE:** 18,346 S.F. (0.418 AC) - 22.8%

**PROPOSED LOT 2** 66,190 S.F. (1.52 AC.)

FLOOR AREA: 18,045 S.F. - FAR = 0.34  
OFFICE: 8,400 GFA - 34%  
WAREHOUSE: 10,645 GFA - 66%

**PARKING CALC.**  
4 SPACES/1,000 GFA (OFFICE) = 32 SPACES  
1 SPACE/1,000 GFA (WAREHOUSE) = 11 SPACES  
TOTAL SPACES REQUIRED: 43 SPACES  
TOTAL PARKING SPACES ON LOT 2 = 2 ADA, 38 TYPICAL

**BUILDING COVERAGE:** 18,045 S.F. (0.366 AC) - 24.2%  
**PAYMENT COVERAGE:** 32,180 S.F. (0.738 AC) - 48.7%  
**LANDSCAPE AND OPEN SPACE:** 17,865 S.F. (0.412 AC) - 27.1%

**MAX. BLDG. HEIGHT:** 30 FT.  
**EXISTING ZONING:** DR - CITY OF WEST CHICAGO  
**PROPOSED ZONING:** DR - CITY OF WEST CHICAGO

**MINIMUM REQUIRED SETBACKS FOR DR ZONING:**

SETBACK	DR ZONING
FRONT	30 FT.
REAR	30 FT.
SIDE	30 FT.
STREET	15 FT.
STREET	10 FT.

**APPROVED REDUCED LANDSCAPE SETBACKS:**

- REDUCED FRONT LANDSCAPE YARD ALONG TOPSOIL DRIVE DIA-DE-SAC INLAND FOR LOT 1 FROM 20 FT. TO 7.48 FT.
- REDUCED FRONT LANDSCAPE YARD ALONG TOPSOIL DRIVE FOR LOT 2 FROM 20 FT. TO 9 FT.
- REDUCED CORNER SIDE LANDSCAPE YARD ALONG KRESS CREEK DRIVE FOR LOT 2 FROM 20 FT. TO 13.4'
- ELIMINATE THE EAST SIDE LANDSCAPE YARD FOR LOT 1 AND WEST SIDE LANDSCAPE YARD FOR LOT 2.

REVISION DESCRIPTION

NO.	DATE	BY	PER CITY COMMENTS
1	12/17/2019	DAV	

ELINDO DESIGN FIRM  
420 N. FRONT  
STREET, SUITE 100  
MOKENS, IL 60050  
PHONE: 815.355.1778  
FAX: 815.355.1781

**HRGreen**

**LOTS 1 & 2**  
**JIGGED VENTURES RESUBDIVISION**  
**WEST CHICAGO, IL**  
**CIVIL**  
**FINAL PUD SITE PLAN**

BAR IS ONE INCH ON  
OFFICE CHAIRS  
IF NOT ONE INCH  
ADJUST SCALE ACCORDINGLY

DESIGNED BY: JVB  
APPROVED: JVB  
JOB DATE: 02-20-2019  
JOB NO: 88120369.01

DRAWING  
**EX-1**











# **SITE CALCULATIONS**

OR  
TOTAL SITE AREA: 147,098 SF, 3.38 AC.  
NUMBER OF REGULAR PARKING SPACES: 57  
TOTAL NUMBER OF STALLS: 10

## **ORIGINATE LANDSCAPE REQUIREMENTS**

### **LANDSCAPE YARDS**

THE APPLICANT SHALL PROVIDE A LANDSCAPE SCREEN/BUFFER FOR ALL LANDSCAPE YARDS AS INDICATED IN THE REGULATIONS FOR EACH BUSINESS AND MANUFACTURING DISTRICT. SUCH BUFFER MAY INCLUDE PLANT MATERIALS, FENCES, WALLS AND BERRIS, AND MUST PROVIDE A CERTAIN NUMBER OF POINTS.

NORTH (LOT 1 & 2):  
534LF X 5 = 2,670 POINTS  
220LF (BERM) X 2.5' HT. = 550 / 2 = 275 POINTS  
2,470 + 275 = 2,745 POINTS REQUIRED

SOUTH:  
LOT 1: 205LF X 5 = 1,025 POINTS  
205LF X 2.5 = 513 POINT DEDUCTION (8' FENCE)  
1,025 - 513 = 512 POINTS REQUIRED

LOT 2: 215LF X 5 = 1,075 POINTS REQUIRED

EAST:  
254LF X 5 = 1,270 POINTS REQUIRED

WEST:  
378LF X 5 = 1,890 POINTS  
321LF X 2.5 = 802.5 POINT DEDUCTION (8' FENCE)  
1,890 - 802.5 = 1,087.5 POINTS REQUIRED

NORTH (LOT 1 & 2):  
PROVIDED:  
SHADE TREES 13 X 100 POINTS = 1,300  
3 (PRESERVED) X 60 = 180  
ORNAMENTAL TREES 12 X 50 POINTS = 600  
LOW SHRUBS 48 X 10 POINTS = 480  
PERENNIALS 27 X 1 POINT = 27  
TOTAL: 2,547 POINTS (2,395 POINTS REQUIRED)

SOUTH (LOT 1):  
PROVIDED:  
SHADE TREES 5 X 100 POINTS = 500  
TOTAL: 500 POINTS (512 POINTS REQUIRED)

SOUTH (LOT 2):  
PROVIDED:  
SHADE TREES 8 (1 PRESERVED) X 100 POINTS = 800  
22 SHRUBS X 15 POINTS = 330  
TOTAL: 1,130 POINTS (1,075 POINTS REQUIRED)

EAST:  
PROVIDED:  
SHADE TREES 5 X 100 POINTS = 500  
4 X 15 POINTS = 60  
74 X 10 POINTS = 740 (10 EXISTING TO BE PRESERVED)  
PERENNIALS/GRASSES 20 X 1 = 20 (20 EXISTING TO BE PRESERVED)  
TOTAL: 1,320 POINTS (1,270 POINTS REQUIRED)

WEST:  
PROVIDED:  
SHADE TREES 11 X 100 POINTS = 1,100  
TOTAL: 1,100 POINTS (1,078 POINTS REQUIRED)

**BUILDING FOUNDATIONS**  
WHERE FOUNDATION LANDSCAPING CANNOT BE INSTALLED BECAUSE OF PEDESTRIAN OR VEHICULAR ACCESS TO THE BUILDING, UP TO A FIFTY (50) PERCENT REDUCTION IN THE NUMBER OF POINTS REQUIRED MAY BE PERMITTED.

LENGTH OF BUILDING PERIMETER (IN FEET) X 4 = POINTS REQUIRED  
LOT 1: 434 LF X 4 = 1,736 POINTS  
143 LF X 4 = 572 X 0.5 = 286 POINT DEDUCTION (PEDESTRIAN / VEHICULAR ACCESS)  
1,736 - 286 = 1,450 POINTS REQUIRED

LOT 2: 811 LF X 4 = 3,244 POINTS  
185 LF X 4 = 740 X 0.5 = 370 POINT DEDUCTION (PEDESTRIAN / VEHICULAR ACCESS)  
3,244 - 370 = 2,874 POINTS REQUIRED

LOT 1:  
PROVIDED:  
TALL SHRUBS 40 X 10 = 400 POINTS  
LOW SHRUBS 45 X 10 = 450 POINTS  
SHADE TREES 4 X 100 = 400 POINTS  
TOTAL: 1,450 POINTS (1,450 POINTS REQUIRED)

LOT 2:  
PROVIDED:  
TALL SHRUBS 53 X 1 = 53 POINTS  
77 X 15 = 1,155 POINTS  
74 X 10 = 740 POINTS  
3 X 100 = 300 POINTS  
TOTAL: 2,138 POINTS (2,114 POINTS REQUIRED)

**PARKING LOTS**  
EACH LANDSCAPED ISLAND SHALL CONTAIN ONE (1) SHADE TREE IF AT THE END OF A SINGLE ROW OF PARKING SPACES, AND TWO (2) SHADE TREES IF AT THE END OF A DOUBLE ROW.

LANDSCAPED ISLANDS  
REQUIRED PROVIDED  
6 6

**SIGNS**  
A LANDSCAPE AREA EQUAL TO ONE AND ONE HALF (1 1/2) TIMES THE SIGN AREA INSTALLED AROUND THE BASE OF THE SIGN.

8' X 5' = 40 X 2 = 80 X 1.5 = 120 SF (PROP. SIGN EAST)  
8' X 5' = 40 X 2 = 80 X 1.5 = 120 SF (PROP. SIGN WEST)  
EXISTING LANDSCAPING TO BE MAINTAINED AROUND EXISTING SIGN

LANDSCAPED AREA  
REQUIRED PROVIDED  
120 SF 330 SF (WEST SIGN)  
120 SF 145 SF (EAST SIGN)

## **GENERAL NOTES**

1. BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
2. THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL, ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE, FOR ADDITIONAL DETAILED INFORMATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING JULLIE, THE MUNICIPAL PUBLIC WORKS DEPARTMENT, THE COUNTY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS. THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS APPARENT THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR CLARIFICATION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL LIABILITIES, INCLUDING NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
5. THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK.
6. THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
8. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
10. ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE AS SHOWN ON THE CIVIL ENGINEERING PLANS. ALL AREAS SHALL POSITIVELY DRAIN AND ALL ISLANDS SHALL BE CROWNED 1" IN HEIGHT PER 1' IN ISLAND WIDTH.
11. THE CONTRACTOR SHALL STATE ALL IMPROVEMENTS AS NOTED ON THE FOLLOWING PLANS, AS WELL AS, TREE LOCATIONS AND THE PERMITS OF SHRUBS/PERENNIAL BEDS PRIOR TO INSTALLATION AND CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL. FINAL LOCATION AND SHADING OF ALL IMPROVEMENTS SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE IN ADVANCE OF INSTALLATION.
12. IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANTS, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO INSTALLATION.
13. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN THE PLANT LIST ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS. IN CASE OF ANY DISCREPANCIES, PLANTS TAKE PRECEDENCE OVER CALL-OUTS AND/OR THE PLANT LIST(S).
14. ALL PLANTS SHALL BE NURSERY GROWN PLANTS MEETING AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANS Z60.1-LATEST EDITION). PLANTS ARE TO BE TYPICAL IN SHAPE AND SIZE FOR SPECIES. PLANTS PLANTED IN ROWS OR BAYS SHALL BE MEASURED FOR FORM, PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. PLANTS SHALL NOT BE ROOT-BOUND OR LOOSE. ALL PLANTS SHALL BE PLANTED WITH CARE IN TRANSPORTING. PLANTS SHALL BE MAINTAINED UNTIL INSPECTION AND FINAL ACCEPTANCE. FIELD COLLECTED, PARK GRASS, OR BARE ROOT MATERIAL SHALL NOT BE USED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
15. ALL PLANTING BED EDGES TO BE SHOVEL OUT.
16. CONTRACTOR SHALL USE CAUTION WHEN DIGGING TREE PITS IN THE VICINITY OF UNDERGROUND UTILITY LINES AND MAY NEED TO HAND DIG THE PITS IN MANY OF THESE INSTANCES.
17. ALL AREAS DESIGNED TO RECEIVE SOLID SOIL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO GRASSING OPERATIONS. FINISH GRADE AT TURF AREAS SHALL BE 3/4" - 1" BELOW TOP OF ADJACENT PAVEMENT OR CURBS.
18. CONTRACTOR SHALL FIELD ADJUST PLANT LOCATIONS TO ACCOMMODATE ALL LIGHTING AND ENSURE PLANTS WILL NOT INTERFERE WITH LIGHTING.
19. FERTILIZING, AS SPECIFIED, STAKING, WATERING AND ONE (1) YEAR PLANT WARRANTY FOR INSTALLED PLANT MATERIAL, SHALL BE CONSIDERED INCIDENTAL TO THE PLANT ITEMS.
20. MULCHROOM COMPOST SHALL BE FINELY SCREENED, HOMOGENEOUS, DECOMPOSED ORGANIC MATERIAL SUITABLE FOR HORTICULTURAL USE AS AVAILABLE FROM INDUSTRY TRADING HORTICULTURAL SUPPLIES, INC. ST. CHARLES, IL 60174 (800) 385-1890 OR APPROVED EQUAL. MIX THOROUGHLY IN PLANT BED BEFORE INSTALLING PLANTS.
21. WARRANTY: ONE (1) YEAR REPLACEMENT WARRANTY FOR ALL PLANT MATERIALS SHALL BE CONSIDERED INCIDENTAL TO THIS PROJECT. WARRANTY SHALL COVER PLANTS WHICH HAVE DIED OR PARTIALLY DIED THEREBY RUINING THEIR NATURAL SHAPE, BUT SHALL NOT INCLUDE DAMAGE BY WINDSTORM, DROUGHT, FLOODING, HAIL, ANNUAL FREEZES, DROUGHT OR INSECT DAMAGE BY THE OWNER. THE WARRANTY IS INTENDED TO COVER CONTRACTOR NEGLIGENCE, ESTABLISHMENT, DISEASE AND DAMAGE OR SHOCK TO PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND WATCHING THE PLANT MATERIAL AS NECESSARY, TO ENSURE GROWTH AND ESTABLISHMENT DURING THE 1-YEAR WARRANTY PERIOD. ANY PLANTS THAT ARE NOT IN A LIVE, HEALTHY, GROWING CONDITION AT THE END OF THE 1-YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. PLANTS REPLACED UNDER WARRANTY WILL BE WARRANTED FOR ONE (1) YEAR FOLLOWING REPLACEMENT.

## **GENERAL NOTES - SPECIAL REQUIREMENTS- WARRANTY AND MAINTENANCE OF SOODED AND SEEDING AREAS**

1. MOWING, TRIMMING AND REMOVAL OF GRASS CLIPPINGS IN TURF AREAS, DURING INITIAL 60 DAYS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DURING THIS TIME, CONTRACTOR SHALL MOW TURF AREAS AT REGULAR INTERVALS TO MAINTAIN AT A MAXIMUM HEIGHT OF 2 - 1 1/2 INCHES. DO NOT CUT MORE THAN 1/3 OF GRASS BLADE AT ANY ONE MOWING. CONTRACTOR SHALL ALSO NEATLY TRIM EDGES WHERE NECESSARY AND REMOVE CLIPPINGS AFTER MOWING AND TRIMMING.
2. WARRANTY:
  - A. WARRANTY OF SEEDING AND SOODED AREAS SHALL BE CONSIDERED INCIDENTAL TO THE BID ITEM.
  - B. THE WARRANTY IS TO GUARANTEE COMPLETED SEED/SOODED AREAS FOR A PERIOD OF 1 YEAR AFTER INITIAL ACCEPTANCE HAS BEEN DOCUMENTED.
  - C. REPLACEMENT COSTS ARE THE CONTRACTOR'S RESPONSIBILITY, EXCEPT FOR THOSE RESULTING FROM LOSS OR DAMAGE DUE TO UNUSUAL, CIVIL DISOBEDIENCE, ACTS OF NEGLECT ON THE PART OF OTHERS, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, FIRE, OR LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITY, OR BY ACTS OF GOD.
3. MAINTENANCE:
  - A. CONTRACTOR SHALL COORDINATE MAINTENANCE OPERATIONS AND ACTIVITIES WITH THE OWNER DURING THE WARRANTY PERIOD.
  - B. MAINTENANCE OF SEED/SOODED AREAS SHALL BE PERFORMED BY TRAINED PERSONNEL SKILLED IN IDENTIFYING DESIRED AND UNDESIRABLE PLANT MATERIAL.
  - C. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF SEEDING AND SOODED AREAS DURING THE 1 YEAR WARRANTY PERIOD WITH THE EXCEPTION OF ROUTINE MOWING OF TURF AREAS. ROUTINE MOWING OF TURF AREAS, DURING THE 1 YEAR WARRANTY PERIOD, WILL BE THE RESPONSIBILITY OF THE OWNER ONCE INITIAL ACCEPTANCE HAS BEEN DOCUMENTED.
  - D. MAINTENANCE OF SEEDING AND SOODED AREAS SHALL INCLUDE:
    - WATERING TO PREVENT CRACKS AND SOIL FROM DRYING OUT.
    - ROLLING THE SURFACE TO REMOVE MINOR DEPRESSIONS OR IRREGULARITIES.
    - CONTROLLING GROWTH OF WEEDS, INCLUDING HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM IMPROPER USE OF HERBICIDES.
    - PROTECTING SEEDING/SOODED AREAS WITH BARRIERS SIGNS DURING MAINTENANCE AND WARRANTY PERIOD AS DEEMED NECESSARY.
    - IN THE SPRING OF EACH YEAR DURING THE 1 YEAR WARRANTY PERIOD, THE CONTRACTOR SHALL CORRECT AND RESEED AS ORIGINALLY SPECIFIED, ANY DEFECTS IN THE SEEDING/SOODED AREAS AND GRASS STANDING, SUCH AS WEEDY AREAS, ERODED AREAS, AND BARE SPOTS, UNTIL AFFECTED AREAS ARE ACCEPTABLE TO THE OWNER'S REPRESENTATIVE.
    - DURING THE SPRING DURING THE 1 YEAR WARRANTY PERIOD, THE CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION, ALL DAMAGES TO PROPERTY RESULTING FROM THE SEEDING/SOODED OPERATION OR FROM THE REMEDYING OF DEFECTS, AT THE CONTRACTOR'S EXPENSE.

## **SPECIAL REQUIREMENTS - MAINTENANCE**

1. BEGIN MAINTENANCE IMMEDIATELY FOLLOWING INSTALLATION OF SOO AND CONTINUE FOR A PERIOD UNTIL SOODED AREAS ARE ESTABLISHED WITH SOO ROOTED IN PLACE. MAINTENANCE PERIOD SHALL BE A MINIMUM OF 14 DAYS.
2. MAINTENANCE OF SOODED AREAS SHALL INCLUDE WATERING, WEEDING, MOWING TO A 2 - 1 1/2 INCH HEIGHT AFTER HEIGHT HAS EXCEEDED 3 INCHES AND PRIOR TO 4 INCHES, AND REPLACEMENT AND INSTALLATION OF SOO AS ORIGINALLY SPECIFIED FOR SOODED AREAS FAILING TO SURVIVE. CLIPPINGS FROM MOWING WHICH MAT ON THE GRASS, ARE TO BE REMOVED.

## **SPECIAL REQUIREMENTS - WARRANTY**

1. A WARRANTY IS REQUIRED TO GUARANTEE COMPLETED SOODED OPERATIONS PROVIDING A UNIFORMLY DENSE, LIVE, AND HEALTHY STAND OF GRASS, FREE OF WEEDS AND UNDESIRABLE GRASSES, DEBRIS, AND FREE OF CROCKED AREAS, BARE SPOTS, DISEASES, AND INSECTS AT THE END OF ONE YEAR FOLLOWING THE MINIMUM MAINTENANCE PERIOD OR PROJECT ACCEPTANCE, WHICHEVER IS MORE RECENT.
2. CONTRACTOR TO REPLACE AS ORIGINALLY SPECIFIED AREAS THAT HAVE FAILED TO SURVIVE, AS OFTEN AS REQUIRED, TO ESTABLISH THE SOODED LAWN AREA UNTIL ACCEPTED AT NO ADDITIONAL COMPENSATION.
3. REPAIR AND REPLACE TO ORIGINAL CONDITION ALL DAMAGES TO PROPERTY RESULTANT FROM THE SOODED OPERATION AND ALL DAMAGES AS A RESULT FROM THE REMEDYING OF THESE DEFECTS, WITHOUT ADDITIONAL COMPENSATION.

LOTS 1 & 2, JIGGED VENTURES RESUBDIVISION - WEST CHICAGO, ILLINOIS						
June 8, 2019						
QTY	KEY	BOTANICAL NAME/TITLE	COMMON NAME	SIZE	COND	REMARKS
<b>DECIDUOUS TREES</b>						
12	AC	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	8" HT.	BAB	MULTI-STEMMED, MATCHED
3	AM	ACER NYSAEII MORTON	STATE STREET MAPLE	3" CAL.	BAB	CENTRAL LEADER, MATCHED
10	CO	CILICIS OCCIDENTALIS	COMMON HACKBERRY	3" CAL.	BAB	CENTRAL LEADER, MATCHED
19	GT	GLORIOSA TRICANTHOS VAR. HERMIS SKYCOLE	SKYLINE HONEYLOCUST	3" CAL.	BAB	CENTRAL LEADER, MATCHED
14	QA	QUERCUS ALBA X ROBUR CRIMSON SPIRE	CRIMSON SPIRE OAK	3" CAL.	BAB	CENTRAL LEADER, MATCHED
13	QR	QUERCUS RUBRA	RED OAK	3" CAL.	BAB	CENTRAL LEADER, MATCHED
<b>DECIDUOUS SHRUBS</b>						
10	HA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5	CONT.	3" O.C. MATCHED
25	HL	HYDRANGEA PANDICULATA LIMELIGHT	LIMELIGHT HYDRANGEA	#5	CONT.	4" O.C. MATCHED
57	HP	HYDRANGEA PANDICULATA LITTLE LIME	HYDRANGEA PANDICULATA 'JANE'	#5	CONT.	2" O.C. MATCHED
21	SB	SYRINGA BLOOMERANG PURPLE	SYRINGA 'X PENDA'	#5	CONT.	4" O.C. MATCHED
31	VD	VBURNUM DENTATUM BLUE MUFFIN	VBURNUM DENTATUM 'CHRISTOM'	#5	CONT.	4" O.C. MATCHED
<b>EVERGREEN SHRUBS</b>						
7	IG	ILEX GLABRA 'SHAMROCK'	INBERRY	#3	CONT.	4" O.C. MATCHED
128	JC	JUNIPERUS CHINENSIS 'KALLAYS COMPACT'	KALLAYS COMPACT JUNPER	#5	CONT.	3" O.C. MATCHED
10	RH	RHOXODENDRON 'YAM ELITE'	RHOXODENDRON	#5	CONT.	3" O.C. MATCHED
77	TM	TAXUS X MEDIA 'DEFORMIS'	DOVESEED DOUGLAS FIR	#5	CONT.	3" O.C. MATCHED
73	TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	#5	CONT.	4" O.C. MATCHED
<b>PERENNIALS, GRASSES &amp; GROUNDCOVER</b>						
13	CA	CALLAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1	CONT.	24" O.C. MATCHED
409	EF	EUONYMUS FORTUNEI VAR. 'COLORATUS'	PURPLE WINTERCREEPER	24 CELL FLAT	CONT.	12" O.C. MATCHED
145	HE	HEMEROCALLIS 'STELLA DE ORO'	DAYLILY	#1	CONT.	18" O.C. MATCHED
20	HF	HOSTA 'FRANCE'	HOSTA	#1	CONT.	24" O.C. MATCHED
36	SH	SPOROBOLUS HETEROLEPHS	PRAIRIE DROPSIDE	#1	CONT.	24" O.C. MATCHED
24	TI	TIARELLA ELIZABETH OLIVER	FOAMFLOWER	#1	CONT.	18" O.C. MATCHED
<b>MISCELLANEOUS</b>						
87	MULCH	3" DEEP SHREDDED HARDWOOD MULCH		CY		
3463	SEED	100T CL 2A SEED MIX / MULCH METHOD 2		BY		
<b>GENERAL NOTES:</b>						
1. SEEDING SHALL BE APPLIED AND STABILIZED PER IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (MOST RECENT VERSION)						

NO.	DATE	BY	REVISION	DESCRIPTION
1	11/20/2018	LM	1	ISSUED FOR PERMITS
2	11/20/2018	LM	2	ISSUED FOR PERMITS
3	11/20/2018	LM	3	ISSUED FOR PERMITS
4	11/20/2018	LM	4	ISSUED FOR PERMITS
5	11/20/2018	LM	5	ISSUED FOR PERMITS
6	11/20/2018	LM	6	ISSUED FOR PERMITS
7	11/20/2018	LM	7	ISSUED FOR PERMITS
8	11/20/2018	LM	8	ISSUED FOR PERMITS
9	11/20/2018	LM	9	ISSUED FOR PERMITS
10	11/20/2018	LM	10	ISSUED FOR PERMITS

ILLINOIS DESIGN FIRM  
420 N. FRONT  
STREET, SUITE 100  
MCKINNEY, IL 60050  
PHONE: 815.385.1778  
FAX: 815.385.1781



LOTS 1 & 2  
JIGGED VENTURES RESUBDIVISION  
WEST CHICAGO, IL  
LANDSCAPING  
PLANT LIST & LANDSCAPE NOTES

BAR IS ONE INCH ON  
OFFICIAL DRAWING  
IF NOT SHOWN, ADJUST SCALE ACCORDINGLY

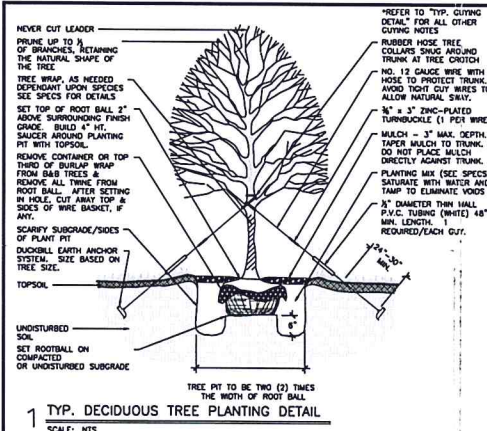
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APPROVED: MAF  
JOB DATE: 02-20-2019  
JOB NO: 68150388.04

DRAWING  
L-03

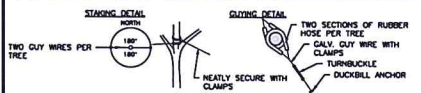
FINAL LANDSCAPE PLAN





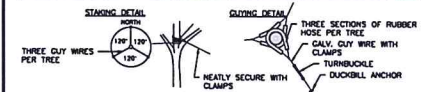


**MINIMUM STANDARDS**  
TWO (2) MOULDED DUCKBILL ANCHORS (HOLDING CAPACITY 1100#) PER ANCHOR IN NORMAL SOIL.  
12" OF 3/4" GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.  
8" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH, ONE (1) REQUIRED/EACH CUT.  
TWO (2) TURNBUCKLES, EYE AND EYE TYPE, 3/8" THREAD DIAMETER WITH 3" LINE-UP.  
FOUR (4) 8" CABLE CLAMPS, ZINC PLATED (DIP-2) STEEL DRIVE ROD 2" LONG WITH 8" ROUND DRIVING PIT NEEDED  
TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS  
TWO (2) RUBBER HOSE TREE COLLARS, 31" LONG, EA.



\*APPLIES TO SINGLE TRUNK DECIDUOUS TREES 3" CAL. AND LESS & EVERGREEN TREES 8" HT. AND LESS

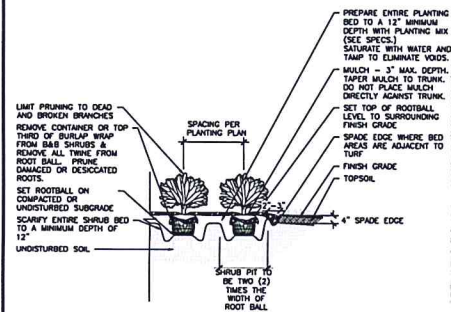
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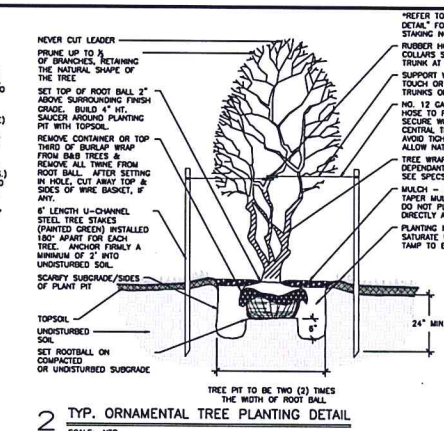
#### 5 TYP. GUYING DETAIL

SCALE: NTS



#### 9 TYP. SHRUB PLANTING DETAIL

SCALE: NTS

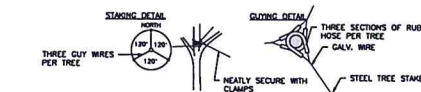


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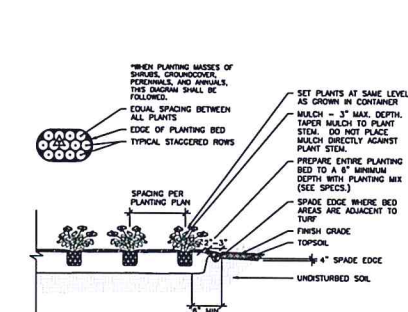
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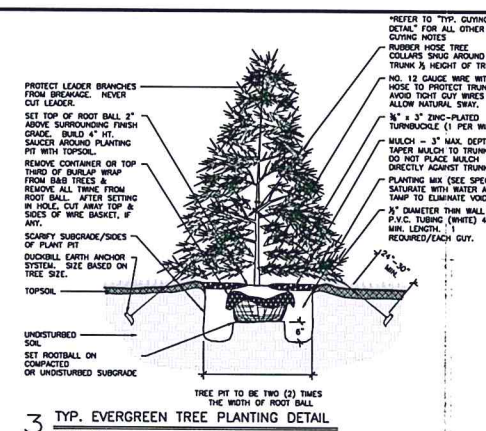
#### 6 TYP. STAKING DETAIL

SCALE: NTS



#### 10 TYP. PERENNIAL PLANTING DETAIL

SCALE: NTS

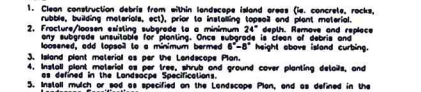


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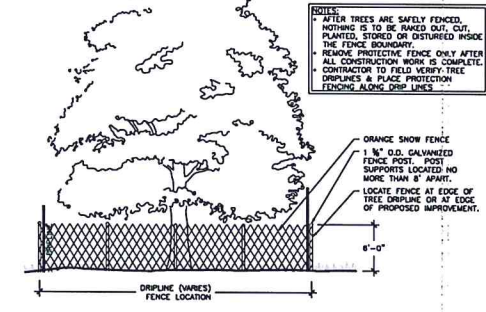
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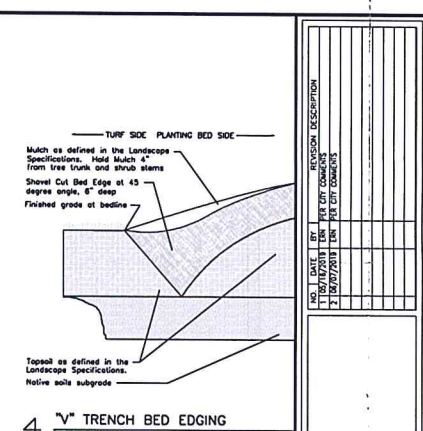
#### 7 PARKING ISLAND BERMING DETAIL

SCALE: NTS



#### 11 TYP. TREE PROTECTION SNOW FENCE DETAIL

SCALE: NTS

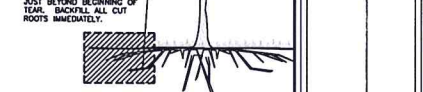


**MINIMUM STANDARDS**  
TWO (2) MOULDED DUCKBILL ANCHORS (HOLDING CAPACITY 1100#) PER ANCHOR IN NORMAL SOIL.  
12" OF 3/4" GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.  
8" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH, ONE (1) REQUIRED/EACH CUT.  
TWO (2) TURNBUCKLES, EYE AND EYE TYPE, 3/8" THREAD DIAMETER WITH 3" LINE-UP.  
FOUR (4) 8" CABLE CLAMPS, ZINC PLATED (DIP-2) STEEL DRIVE ROD 2" LONG WITH 8" ROUND DRIVING PIT NEEDED  
TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS  
TWO (2) RUBBER HOSE TREE COLLARS, 31" LONG, EA.



\*APPLIES TO SINGLE TRUNK DECIDUOUS TREES 3" CAL. AND LESS & EVERGREEN TREES 8" HT. AND LESS & ALL MULTI-STEM TREES

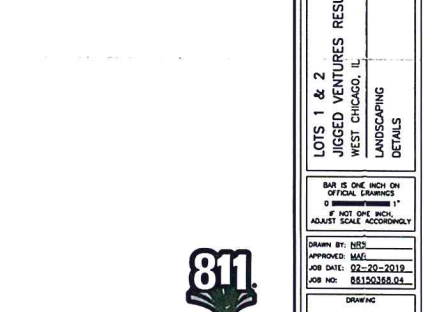
**MINIMUM STANDARDS**  
THREE (3) MOULDED DUCKBILL ANCHORS (HOLDING CAPACITY 1100#) PER ANCHOR IN NORMAL SOIL.  
12" OF 3/4" GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.  
8" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH, ONE (1) REQUIRED/EACH CUT.  
TWO (2) TURNBUCKLES, EYE AND EYE TYPE, 3/8" THREAD DIAMETER WITH 3" LINE-UP.  
FOUR (4) 8" CABLE CLAMPS, ZINC PLATED (DIP-2) STEEL DRIVE ROD 2" LONG WITH 8" ROUND DRIVING PIT NEEDED  
TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS  
THREE (3) RUBBER HOSE TREE COLLARS, 31" LONG, EA.



\*APPLIES TO SINGLE TRUNK DECIDUOUS TREES GREATER THAN 3" CAL. & EVERGREEN TREES GREATER THAN 8" HT.

#### 8 TYP. ROOT PRUNING DETAIL

SCALE: NTS



#### FINAL LANDSCAPE PLAN

Know what's below.  
Call before you dig.

NO.	DATE	BY	REVISION DESCRIPTION
1	12/07/2019	HR	PER CITY COMMENTS

LANDSCAPE DESIGN FIRM  
HRGreen  
420 N. FRONT  
STREET, SUITE 100  
MCHENRY, IL 60050  
PHONE 815.353.1778  
FAX 815.353.1781



LOTS 1 & 2  
JIGGED VENTURES RESUBDIVISION  
WEST CHICAGO, IL  
LANDSCAPING  
DETAILS

BAB IS ONE INCH ON  
OFFICIAL DRAWINGS  
IF NOT ONE INCH  
ADJUST SCALE ACCORDINGLY

DRAWN BY: NTS  
APPROVED: MALL  
JOB DATE: 02-20-2019  
JOB NO: 88126268.04



Know what's below.  
Call before you dig.

811

L-04