

# CITY OF WEST CHICAGO

WHERE HISTORY & PROGRESS MEET

**CITY COUNCIL MEETING  
MONDAY, JULY 20, 2020 - 7:00 P.M.  
475 MAIN STREET, WEST CHICAGO, ILLINOIS**

## **AGENDA**

- 1. Call to Order**
- 2. Pledge of Allegiance to the Flag**
- 3. Invocation**
- 4. Roll Call and Establishment of a Quorum**
- 5. Public Participation**

The opportunity to speak to the City Council is provided for those who have a question or comment on an agenda item or a City of West Chicago issue. The City Council appreciates hearing from our residents and your thoughts and questions are valued. The City Council strives to make the best decisions for the City and public input is very helpful.

Respect for the duties of the City Council and for the democratic process will be adhered to – in this regard, civility and a sense of decorum will be strictly followed. All speakers must address their comments to the Mayor. Comments that are personally condescending will not be permitted. Speakers shall be courteous and should not make statements that are personally disrespectful to members of the City Council or City staff.

Please use the podium in the center aisle. Please announce your name and address (if acceptable) before commencing – all public comments are limited to three (3) minutes and each citizen will be permitted to speak only once. It is the City Council's policy not to engage in dialogue during Public Comment. Any questions raised will be addressed by City staff or an elected official outside of the City Council meeting.

*During the COVID-19 Pandemic, those wishing to attend public meetings of the City Council are welcome to do so at City Hall. You may attend in person to listen to the audio of the meeting, or via teleconference from home or another location on the Zoom app. Downloading Zoom from zoom.us will provide the audio link to the meeting. Anyone wishing to provide comment on a topic or an agenda item, may address the City Council by 4:00 p.m. the day of the meeting. You may do so either by an online form on the City's website, email to the Deputy City Clerk at [aadm@westchicago.org](mailto:aadm@westchicago.org) or voicemail message at (630) 293-2205 x135. Your comment to the City Council will be read during the Public Participation portion of the agenda.*

475 Main Street  
West Chicago, Illinois  
60185

T (630) 293-2200  
F (630) 293-3028  
[www.westchicago.org](http://www.westchicago.org)

Ruben Pineda  
MAYOR  
Nancy M. Smith  
CITY CLERK

Michael L. Guttman  
CITY ADMINISTRATOR

6. City Council Meeting Minutes of July 6, 2020

7. Corporate Disbursement Report  
- July 20, 2020 (\$594,961.47)

8. Consent Agenda

- Development Committee:

A. Resolution No. 20-R-0037 – A Resolution Approving the Final Plat of Subdivision for Phase 1 of Trillium Farm.

B. Ordinance No. 20-O-0013 – An Ordinance Approving an Amendment to the Final PUD Plan of Bishop Place Northwest Corner of Roosevelt Road and Bishop Street.

- Infrastructure Committee:

C. Resolution No. 20-R-0030 – A Resolution Authorizing the Mayor to Execute a Contract Agreement with Boller Construction Company, Inc., for Services Related to the Digester #1 Improvements Project (for an amount not to exceed \$638,900.00).

D. Resolution No. 20-R-0032 – A Resolution Authorizing the Mayor to Execute a Professional Engineering Services Agreement with Donohue & Associates, Inc., for SCADA Integration Services Associated with the Digester #1 Improvements Project (for an amount not to exceed \$53,105.00).

E. Ordinance No. 20-O-0012 – An Ordinance Authorizing the Disposal or Sale of Surplus Equipment, Stock Inventory, and/or Personal Property Owned by the City of West Chicago.

F. Approve the Change Order No. 1 and Final Authorizing the Additional Purchase of 55.75 Tons of Rock Salt from Compass Minerals America, Inc. (for an amount to exceed \$4,625.02).

- Items Not Sent To Committee:

G. Resolution No. 20-R-0042 – A Resolution Authorizing the Mayor to Execute an Intergovernmental Agreement Between the City of West Chicago and DuPage County for Participation in The DuPage County Local Government COVID-19 Reimbursement Program.



- H. Resolution No. 20-R-0033 – A Resolution Authorizing the Mayor to Execute a Certain Downtown Façade Grant Program Agreement – The West Chicago Historical Society (for an amount not to exceed \$2,068.46).
- I. Resolution No. 20-R-0034 – A Resolution Authorizing the Mayor to Execute a Certain Downtown Façade Grant Program Agreement – Maria Mercedes Arroyo Gonzalez – 207 Main Street (for an amount not to exceed \$3,012.50).
- J. Resolution No. 20-R-0035 – A Resolution Authorizing the Mayor to Execute a Certain Downtown Façade Grant Program Agreement – Yolanda Peterson – 124 Main Street (for an amount not to exceed \$2,600.00).
- K. Resolution No. 20-R-0038 – A Resolution Authorizing the Mayor to Execute a Certain Downtown Façade Grant Program Agreement – Michael Lellios – 220 Main Street (for an amount not to exceed \$6,343.00).
- L. Resolution No. 20-R-0039 – A Resolution Authorizing the Mayor to Execute a Certain Downtown Façade Grant Program Agreement - Michael Lellios – 218 Main Street (for an amount not to exceed \$3,899.00).
- M. Resolution No. 20-R-0040 – A Resolution Authorizing the Mayor to Execute a Certain Downtown Façade Grant Program Agreement – Eduardo Hernandez – 112 Main Street (for an amount not to exceed \$10,000).
- N. Resolution No. 20-R-0041 – A Resolution Authorizing the Mayor to Execute a Certain Downtown Façade Grant Program Agreement – Eduardo Hernandez – 128 Main Street (for an amount not to exceed \$1,800.00).

- 9. Reports by Committees
- 10. Unfinished Business
- 11. New Business
- 12. Correspondence and Announcements

Upcoming Meetings

July 21, 2020	Plan Commission/ZBA (cancelled)
July 23, 2020	Finance Committee (cancelled)

**July 27, 2020                      Public Affairs Committee**  
**July 28, 2020                      Historical Preservation Commission**

- 13.    Mayor's Comments**
- 14.    Executive Session**
  - A. Land Acquisition – 5 ILCS 120/2 (C) (5) (6)**
  - B. Litigation – 5 ILCS 120/2 (C) (11)**
  - C. Personnel Matters – 5 ILCS 120/2 (C) (1)**
  - D. Review of Official Record – 5 ILCS 120/2 (C) (21)**
- 15.    Items to be Referred for Final Action from Executive Session.**
- 16.    Adjournment**



CITY OF WEST CHICAGO - 475 Main Street  
CITY COUNCIL MINUTES  
Regular Meeting  
July 6, 2020

The City Council meeting of July 6, 2020, was held partly remote and partly in person due to the coronavirus pandemic.

1. **Call to Order.** Mayor Ruben Pineda (in person) called the meeting to order at 7:00 pm.
2. **Pledge of Allegiance.** Alderman Brown led all in the pledge of allegiance.
3. **Invocation.** There was no invocation.
4. **Roll Call and Establishment of a Quorum.**

Roll call found Aldermen Lori J. Chassee, James E. Beifuss, Jr., Heather Brown, Jayme Sheahan, Alton Hallett, Michael D. Ferguson, Melissa Birch-Ferguson, Christopher Swiatek, Matthew Garling, Jeanne Short, Rebecca Stout, John E. Jakabcsin, and Noreen Ligino-Kubinski present. All Aldermen in attendance were present remotely except Alderman Matthew Garling. Alderman Sandy Dimas was absent. The Mayor announced a quorum.

Also in attendance in person were City Administrator Michael Guttman and Deputy Chief of Police Chris Shackelford.

City Clerk Nancy M. Smith and City Attorney Patrick Bond attended remotely.

**5. Public Participation.**

**A. Presentation: ComEd Supporting Customers During COVID-19.** Ms. Cynthia Thomas, ComEd Community Assistance Program Manager, detailed ways in which ComEd is trying to help its customers during the COVID-19 pandemic. As they get more information, they will send it out. The Mayor asked that the information be in both Spanish and English. He thanked Ms. Thomas for this great program.

**6. City Council Meeting Minutes of June 15, 2020.** Alderman Garling made a motion, seconded by Alderman Jakabcsin, to approve the minutes of June 15, 2020, with no changes. Voting Aye: Aldermen Chassee, Beifuss, Brown, Sheahan, Ferguson, Hallett, Birch-Ferguson, Garling, Swiatek, Short, Stout, Jakabcsin, and Ligino-Kubinski. Voting Nay: 0. Motion carried.

**7. Corporate Disbursement Report.** Alderman Garling made a motion, seconded by Alderman Beifuss, to approve the July 6, 2020, Corporate Disbursement Report in the amount of \$596,792.70. Voting Aye: Aldermen Chassee, Beifuss, Brown, Sheahan, Ferguson, Hallett, Birch-Ferguson, Garling, Swiatek, Short, Stout, Jakabcsin, and Ligino-Kubinski. Voting Nay: 0. Motion carried.

**8. Consent Agenda.**

\* **Items Not Sent to Committee.** The Mayor read and explained the following items:

**A. Resolution 20-R-0036** - A Resolution of the City of West Chicago, DuPage County, Illinois, Authorizing the Sale of Surplus Municipally Owned Real Estate - Two Vacant Lots on Ann Street, West Chicago, Illinois (The Mayor removed this item from the agenda.)

**B. Concur** - With the Mayor's Appointment of Lewis Achenbach for an *Ex-Officio* Position in the Cultural Arts Commission for a Term ending April 2021

**C. Concur** - With the Mayor's Reappointment of Anni Holm to the Cultural Arts Commission for a Term Ending April 2024

Alderman Chassee made a motion, seconded by Alderman Ferguson, to concur with the Mayor's appointments of the above people. Voting Aye: Aldermen Chassee, Beifuss, Brown, Sheahan, Ferguson, Hallett, Birch-Ferguson, Garling, Swiatek, Short, Stout, Jakabcsin, and Ligino-Kubinski. Voting Nay: 0. Motion carried.

9. **Reports by Committee:** None
10. **Unfinished Business:** None
11. **New Business:** None
12. **Correspondence and Announcements**

**Upcoming Meetings**

July 7, 2020  
July 13, 2020

Plan Commission/Zoning Board of Appeals  
Development Committee

**13. Mayor's Comments:** The Mayor said on Saturday the City was a war zone for graffiti. This was seen across the country.

The Mayor said the temperatures are in the 90's and we should reach out to make sure all the seniors and loved ones are taken care of.

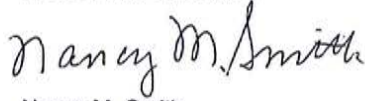
The COVID-19 numbers are below 20%, and we are in Phase 4. However, our numbers are still not where they should be. The Mayor urged people to keep washing their hands, wearing their masks, and keeping the proper distance from each other.

**14. Executive Session.** There was no executive session.

**15. Items to be Referred for Final Action from Executive Session.** Not applicable.

**16. Adjournment.** At 7:19 pm. Alderman Chassee made a motion, seconded by Alderman Stout, to adjourn. Voting Aye: Aldermen Chassee, Beifuss, Brown, Sheahan, Ferguson, Hallett, Birch-Ferguson, Garling, Swiatek, Short, Stout, Jakabcsin, and Ligino-Kubinski. Voting Nay: 0. Motion carried.

Respectfully submitted,

A handwritten signature in cursive script that reads "Nancy M. Smith".

Nancy M. Smith  
City Clerk



# CITY OF WEST CHICAGO

## CORPORATE DISBURSEMENT REPORT July 20, 2020

OPERATING ACCOUNT	\$	594,961.47
FUNDED BY:		-----

GENERAL FUND	\$	222,051.15
CAPITAL EQUIPMENT REPLACEMENT FUND	\$	180.99
SEWER FUND	\$	234,027.66
WATER FUND	\$	36,159.36
CAPITAL PROJECTS FUND	\$	97,129.79
DOWNTOWN TIF SPECIAL PROJECTS FUND	\$	5,350.17
COMMUTER PARKING FUND	\$	62.35

APPROVED BY THE CITY COUNCIL ON:

DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

## PENTAMATION - FINANCIAL MANAGEMENT SYSTEM

DATE: 07/16/20

TIME: 16:00:08

CITY OF WEST CHICAGO  
CHECK REGISTER - DISBURSEMENT FUNDPAGE NUMBER: 1  
ACCTPA21SELECTION CRITERIA: transact.batch='G394' and transact.ck\_date='20200720 00:00:00.000'  
ACCOUNTING PERIOD: 7/20

## FUND - 40 - OPERATING FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	-----DEPT-DIV	-----DESCRIPTION-----	SALES TAX	AMOUNT
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	010503	DATTO BACKUP/DISASTER	0.00	3,345.00
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	010503	PO#93206 APPLICATION	0.00	925.00
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	053443	PO#93206 APPLICATION	0.00	462.50
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	063447	PO#93206 APPLICATION	0.00	462.50
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	010219	MONTHLY SUBSCRIPTION	0.00	14.99
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	010219	MONTHLY SUBSCRIPTION	0.00	14.99
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	010503	SSL CERTIFICATION - 2	0.00	127.98
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	010503	MANAGED IT SERVICES -	0.00	8,054.50
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	053443	MANAGED IT SERVICES -	0.00	4,027.25
105100	87956	07/20/20	14400 7 LAYER SOLUTIONS, INC	063447	MANAGED IT SERVICES -	0.00	4,027.25
TOTAL CHECK						0.00	21,461.96
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	053443	JUNE CHARGES	0.00	135.02
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	063447	JUNE CHARGES	0.00	134.87
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010910	JUNE CHARGES	0.00	17.71
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	063448	JUNE CHARGES	0.00	25.81
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	011028	JUNE CHARGES	0.00	29.54
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010219	JUNE CHARGES	0.00	93.36
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010613	JUNE CHARGES	0.00	50.98
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010613	JUNE CHARGES	0.00	29.99
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010510	JUNE CHARGES	0.00	51.35
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010219	INVOICE #517103 DATED	0.00	226.32
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010219	INVOICE #517293 DATED	0.00	1,131.60
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010219	INVOICE #517459 DATED	0.00	226.32
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010219	INVOICE #516843 DATED	0.00	389.07
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010219	INVOICE #517102 DATED	0.00	3,499.75
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010219	INVOICE #517699 DATED	0.00	1,399.90
105100	87957	07/20/20	12617 ACCURATE OFFICE SUPPLY	010219	CREDIT- RETURN & BULK	0.00	-286.54
TOTAL CHECK						0.00	7,155.05
105100	87958	07/20/20	14928 AIR ONE EQUIPMENT, INC	010924	INVOICE #158094 DATED	0.00	26.00
105100	87958	07/20/20	14928 AIR ONE EQUIPMENT, INC	053443	INVOICE #158094 DATED	0.00	26.00
105100	87958	07/20/20	14928 AIR ONE EQUIPMENT, INC	063447	INVOICE #158094 DATED	0.00	26.00
TOTAL CHECK						0.00	78.00
105100	87959	07/20/20	1914 ALEXANDER CHEMICAL CORPO	063448	RESOLUTION NO. 19-R-00	0.00	3,142.40
105100	87960	07/20/20	12722 ALLIED ASPHALT PAVING CO	083453	PURCHASE OF ASPHALT MA	0.00	299.22
105100	87961	07/20/20	13673 AMERICAN RED CROSS - HEA	010613	INVOICE #2281658	0.00	1,050.00
105100	87962	07/20/20	12365 ANDY FRAIN SERVICES	010613	INVOICE #290626	0.00	11,585.93
105100	87963	07/20/20	1800 B & F CONSTRUCTION CODE	011029	INSPECTIONS/PROPERTY M	0.00	14,375.00
105100	87964	07/20/20	12712 BARNES & THORNBURG, LLP	010910	PROFESSIONAL SERVICES	0.00	282.50
105100	87965	07/20/20	15272 BARTELS, KYLE	063447	REIMURSEMENT TO KYLE B	0.00	60.00
105100	87966	07/20/20	14939 BATTERIES PLUS BULBS	053443	INVOICE #P28404895 DAT	0.00	83.85
105100	87967	07/20/20	7994 BOND, DICKSON & ASSOC.,	010110	PROFESSIONAL SERVICES	0.00	250.00



PENTAMATION - FINANCIAL MANAGEMENT SYSTEM  
 DATE: 07/16/20  
 TIME: 16:00:08

CITY OF WEST CHICAGO  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2  
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SELECTION CRITERIA: transact.batch='G394' and transact.ck\_date='20200720 00:00:00.000'  
 ACCOUNTING PERIOD: 7/20

FUND - 40 - OPERATING FUND

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105100	87967	07/20/20	7994	BOND, DICKSON & ASSOC., 010208	PROFESSIONAL SERVICES	0.00	5,104.80
105100	87967	07/20/20	7994	BOND, DICKSON & ASSOC., 010613	PROFESSIONAL SERVICES	0.00	1,524.30
105100	87967	07/20/20	7994	BOND, DICKSON & ASSOC., 011028	PROFESSIONAL SERVICES	0.00	120.00
105100	87967	07/20/20	7994	BOND, DICKSON & ASSOC., 011029	PROFESSIONAL SERVICES	0.00	300.00
105100	87967	07/20/20	7994	BOND, DICKSON & ASSOC., 063447	PROFESSIONAL SERVICES	0.00	1,800.00
105100	87967	07/20/20	7994	BOND, DICKSON & ASSOC., 083453	PROFESSIONAL SERVICES	0.00	166.00
105100	87967	07/20/20	7994	BOND, DICKSON & ASSOC., 093454	PROFESSIONAL SERVICES	0.00	40.00
TOTAL CHECK						0.00	9,305.10
105100	87968	07/20/20	14784	BRADEN BUSINESS SYSTEMS 010613	INVOICE #647347	0.00	45.00
105100	87968	07/20/20	14784	BRADEN BUSINESS SYSTEMS 011030	MUSEUM COPIER, KYOCERA	0.00	73.68
TOTAL CHECK						0.00	118.68
105100	87969	07/20/20	12268	CALL ONE 01	SVC 6/15-7/14/20	0.00	57,289.18
105100	87970	07/20/20	13021	CASE LOTS, INC 010219	INVOICE #6307 DATED 06	0.00	4,477.25
105100	87971	07/20/20	1843	CEMETERY MANAGEMENT, INC 010923	RESOLUTION NO. 20-R-00	0.00	2,450.00
105100	87971	07/20/20	1843	CEMETERY MANAGEMENT, INC 010923	RESOLUTION NO. 20-R-00	0.00	1,225.00
105100	87971	07/20/20	1843	CEMETERY MANAGEMENT, INC 010923	RESOLUTION NO. 20-R-00	0.00	1,200.00
TOTAL CHECK						0.00	4,875.00
105100	87972	07/20/20	8746	CHRISTOPHER B BURKE ENGI 083453	19-R-0058 - NATURAL AR	0.00	721.50
105100	87973	07/20/20	12380	CINTAS CORPORATION 010921	BI-WEEKLY CARPET RUNNE	0.00	11.81
105100	87973	07/20/20	12380	CINTAS CORPORATION 010921	BI-WEEKLY CARPET RUNNE	0.00	9.48
105100	87973	07/20/20	12380	CINTAS CORPORATION 010921	BI-WEEKLY CARPET RUNNE	0.00	13.43
105100	87973	07/20/20	12380	CINTAS CORPORATION 010921	BI-WEEKLY CARPET RUNNE	0.00	17.80
105100	87973	07/20/20	12380	CINTAS CORPORATION 063448	BI-WEEKLY CARPET RUNNE	0.00	15.05
TOTAL CHECK						0.00	67.57
105100	87974	07/20/20	150	COFFMAN TRUCK SALES 010925	INVOICE #142363 DATED	0.00	40.84
105100	87975	07/20/20	5124	COLTHARP'S SALES & SERVI 010924	WHITE/PINT MARKING PA	0.00	297.60
105100	87976	07/20/20	13257	COMCAST CABLE 010503	7/5-8/4/20	0.00	298.40
105100	87977	07/20/20	151	COMED 010926	6/2-7/1/20	0.00	642.82
105100	87978	07/20/20	11805	CONSTELLATION NEWENERGY, 053443	SVC 5/13-6/12/20	0.00	117.94
105100	87979	07/20/20	2810	CORE & MAIN, LP 063447	INVOICE #M546365 DATED	0.00	675.00
105100	87979	07/20/20	2810	CORE & MAIN, LP 053443	INVOICE #M547424 DATED	0.00	905.54
105100	87979	07/20/20	2810	CORE & MAIN, LP 063447	INVOICE #M547541 DATED	0.00	900.42
105100	87979	07/20/20	2810	CORE & MAIN, LP 063447	INVOICE #M584475 DATED	0.00	403.42
105100	87979	07/20/20	2810	CORE & MAIN, LP 063447	CPLG -NO LEAD	0.00	246.50
105100	87979	07/20/20	2810	CORE & MAIN, LP 053443	INV# M566094- CPLG ST	0.00	-170.00
TOTAL CHECK						0.00	2,960.88
105100	87980	07/20/20	15169	DEPENDABLE FIRE EQUIPMEN 063447	INVOICE #12126 DATED 0	0.00	62.35
105100	87981	07/20/20	15271	EXSTREAM CLEAN 010613	INVOICE #INV-1170	0.00	1,350.00

## PENTAMATION - FINANCIAL MANAGEMENT SYSTEM

DATE: 07/16/20

TIME: 16:00:08

CITY OF WEST CHICAGO  
CHECK REGISTER - DISBURSEMENT FUNDPAGE NUMBER: 3  
ACCTPA21SELECTION CRITERIA: transact.batch='G394' and transact.ck\_date='20200720 00:00:00.000'  
ACCOUNTING PERIOD: 7/20

## FUND - 40 - OPERATING FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	-----DEPT-DIV	-----DESCRIPTION-----	SALES TAX	AMOUNT
105100	87981	07/20/20	15271 EXSTREAM CLEAN	010613	INVOICE #INV-1169	0.00	1,540.00
105100	87981	07/20/20	15271 EXSTREAM CLEAN	010613	INVOICE #INV-1168	0.00	2,660.00
TOTAL CHECK						0.00	5,550.00
105100	87982	07/20/20	12964 FACTORY CLEANING EQUIPME	063448	INVOICE #132634 DATED	0.00	416.50
105100	87983	07/20/20	4554 FLEET SAFETY SUPPLY	010925	INVOICE #75135 DATED 0	0.00	59.21
105100	87984	07/20/20	3491 FLOLO CORPORATION	063448	INVOICE #099824 DATED	0.00	330.00
105100	87985	07/20/20	15084 GAS DEPOT	01	4,500 GALS 89 RFG GASO	0.00	8,735.08
105100	87985	07/20/20	15084 GAS DEPOT	01	4,500 GALS 89 RFG GASO	0.00	4,245.80
TOTAL CHECK						0.00	12,980.88
105100	87986	07/20/20	12853 GOLDSTINE, SKRODZKI, RUS	010501	INVOICE 152083 SERVICE	0.00	39.16
105100	87986	07/20/20	12853 GOLDSTINE, SKRODZKI, RUS	053443	INVOICE 152083 SERVICE	0.00	39.17
105100	87986	07/20/20	12853 GOLDSTINE, SKRODZKI, RUS	063447	INVOICE 152083 SERVICE	0.00	39.17
TOTAL CHECK						0.00	117.50
105100	87987	07/20/20	2013 GRAINGER	053443	INVOICE #9554235086 DA	0.00	780.00
105100	87987	07/20/20	2013 GRAINGER	053443	INVOICE #9556454586 DA	0.00	879.86
105100	87987	07/20/20	2013 GRAINGER	063448	INVOICE #9561415150 DA	0.00	394.00
105100	87987	07/20/20	2013 GRAINGER	063448	INVOICE #9561415168 DA	0.00	394.00
105100	87987	07/20/20	2013 GRAINGER	010921	INVOICE #9570481631 DA	0.00	457.60
105100	87987	07/20/20	2013 GRAINGER	053443	INVOICE #9576645940 DA	0.00	323.88
105100	87987	07/20/20	2013 GRAINGER	063447	INVOICE #9576645940 DA	0.00	323.88
105100	87987	07/20/20	2013 GRAINGER	063447	HIGH VIS VEST LIME	0.00	259.60
105100	87987	07/20/20	2013 GRAINGER	063447	WATER HOSE	0.00	118.48
105100	87987	07/20/20	2013 GRAINGER	010925	BRASS BA;; VA;VE	0.00	202.90
105100	87987	07/20/20	2013 GRAINGER	010925	INVOICE #9561883316 DA	0.00	485.00
TOTAL CHECK						0.00	4,619.20
105100	87988	07/20/20	11333 GRAYBAR ELECTRIC CO., IN	083453	INVOICE #9316495779 DA	0.00	403.60
105100	87989	07/20/20	12995 GREAT AMERICA LEASING CO	010613	INVOICE #27322788	0.00	219.20
105100	87990	07/20/20	11307 HEALTH SMART	010501	ANNUAL FLEX ADMIN FEES	0.00	114.30
105100	87991	07/20/20	12241 HEINZ BROTHERS GREENHOUS	093454	TWELVE CUSTOM PLANTERS	0.00	1,560.00
105100	87992	07/20/20	2854 ILLINOIS TAX INCREMENT A	011028	MUNICIPAL DUES FOR JUL	0.00	550.00
105100	87993	07/20/20	11134 JUST SAFETY, LTD.	063448	FIRST AID SERVICES	0.00	70.50
105100	87993	07/20/20	11134 JUST SAFETY, LTD.	010613	FIRST AID SERVICES	0.00	42.20
TOTAL CHECK						0.00	112.70
105100	87994	07/20/20	13555 JX ENTERPRISES, INC	043439	INVOICE #25113965P DAT	0.00	180.99
105100	87994	07/20/20	13555 JX ENTERPRISES, INC	010925	INVOICE #25116019P DAT	0.00	15.44
105100	87994	07/20/20	13555 JX ENTERPRISES, INC	010925	CREDIT MEMO #25100239P	0.00	-133.90
105100	87994	07/20/20	13555 JX ENTERPRISES, INC	053443	INV 2595516P 11/20/19	0.00	-179.96
105100	87994	07/20/20	13555 JX ENTERPRISES, INC	010925	INV 25115574P 6/10/20	0.00	205.99
105100	87994	07/20/20	13555 JX ENTERPRISES, INC	053443	INV 2595518P 11/20/19	0.00	-42.36



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105100	87994	07/20/20	13555	JX ENTERPRISES, INC	053443	INV 2594434P 11/11/19	0.00	-40.99
TOTAL CHECK						0.00	5.21	
105100	87995	07/20/20	12391	KANE, MCKENNA & ASSOC, I	011028	RFP PROJECT PER CONTRA	0.00	325.00
105100	87995	07/20/20	12391	KANE, MCKENNA & ASSOC, I	011028	RFP PROJECT PER CONTRA	0.00	912.50
TOTAL CHECK						0.00	1,237.50	
105100	87996	07/20/20	12643	KIMBALL MIDWEST	010925	INVOICE #8033927 DATED	0.00	286.48
105100	87996	07/20/20	12643	KIMBALL MIDWEST	010925	INVOICE #8034815 DATED	0.00	287.81
TOTAL CHECK						0.00	574.29	
105100	87997	07/20/20	665	KRAMER TREE SPECIALISTS	010922	DISPOSAL OF LOGS FROM	0.00	25.00
105100	87998	07/20/20	2298	LANGUAGE LINE SERVICES,	010613	JUNE 2020	0.00	460.47
105100	87999	07/20/20	10042	LEXISNEXIS RISK DATA MAN	010613	INVOICE #1088361-20200	0.00	211.10
105100	88000	07/20/20	15003	MARIA MERCEDES ARROYO	010219	PHASE 3 COVID RESTAURA	0.00	3,000.00
105100	88001	07/20/20	8248	MARQUARDT & BELMONTE P.C	010613	INVOICE #10623	0.00	3,578.95
105100	88001	07/20/20	8248	MARQUARDT & BELMONTE P.C	010613	INVOICE #10621	0.00	2,498.50
105100	88001	07/20/20	8248	MARQUARDT & BELMONTE P.C	011029	MAKE & REVIEW FILES, A	0.00	1,108.80
TOTAL CHECK						0.00	7,186.25	
105100	88002	07/20/20	231	MC MASTER-CARR SUPPLY CO	010924	BATTERIES, STAPLER	0.00	95.46
105100	88002	07/20/20	231	MC MASTER-CARR SUPPLY CO	083453	INVOICE #41512527 DATE	0.00	304.65
TOTAL CHECK						0.00	400.11	
105100	88003	07/20/20	6601	MENARDS	010613	JUNE CHARGES	0.00	30.05
105100	88003	07/20/20	6601	MENARDS	053443	JUNE CHARGES	0.00	694.29
105100	88003	07/20/20	6601	MENARDS	010925	JUNE CHARGES	0.00	110.56
105100	88003	07/20/20	6601	MENARDS	010924	JUNE CHARGES	0.00	443.33
105100	88003	07/20/20	6601	MENARDS	010921	JUNE CHARGES	0.00	217.79
105100	88003	07/20/20	6601	MENARDS	053443	JUNE CHARGES	0.00	49.88
105100	88003	07/20/20	6601	MENARDS	053443	JUNE CHARGES	0.00	304.57
105100	88003	07/20/20	6601	MENARDS	063448	JUNE CHARGES	0.00	30.60
105100	88003	07/20/20	6601	MENARDS	063448	JUNE CHARGES	0.00	99.00
105100	88003	07/20/20	6601	MENARDS	083453	JUNE CHARGES	0.00	259.90
105100	88003	07/20/20	6601	MENARDS	063447	JUNE CHARGES	0.00	18.11
105100	88003	07/20/20	6601	MENARDS	083453	JUNE CHARGES	0.00	56.30
105100	88003	07/20/20	6601	MENARDS	010613	JUNE CHARGES	0.00	19.60
105100	88003	07/20/20	6601	MENARDS	063447	JUNE CHARGES	0.00	184.14
105100	88003	07/20/20	6601	MENARDS	083453	INVOICE #07624 DATED 0	0.00	459.25
105100	88003	07/20/20	6601	MENARDS	010925	INVOICE #07811 DATED 0	0.00	347.53
105100	88003	07/20/20	6601	MENARDS	083453	INVOICE #06319 DATED 0	0.00	1,548.70
105100	88003	07/20/20	6601	MENARDS	010921	INVOICE #06782 DATED 0	0.00	419.99
105100	88003	07/20/20	6601	MENARDS	010921	INVOICE #06781 DATED 0	0.00	381.28
105100	88003	07/20/20	6601	MENARDS	083453	CREDIT	0.00	-399.85
TOTAL CHECK						0.00	5,275.02	
105100	88004	07/20/20	2263	METROPOLITAN PUMP COMPAN	053443	INVOICE #INV018405 DAT	0.00	374.03

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105100	88005	07/20/20	11735 MH SOFTWARE, INC.	010208	ANNUAL SUBSCRIPTION FO	0.00	468.00
105100	88006	07/20/20	10925 MISSISSIPPI LIME COMPANY	063448	RESOLUTION NO. 19-R-00	0.00	4,971.08
105100	88006	07/20/20	10925 MISSISSIPPI LIME COMPANY	063448	RESOLUTION NO. 19-R-00	0.00	4,941.45
TOTAL CHECK						0.00	9,912.53
105100	88007	07/20/20	242 MUNICIPAL CODE CORPORATI	010110	ADMINISTRATIVE SUPPORT	0.00	350.00
105100	88008	07/20/20	15128 MUNICIPAL SERVICES ASSOC	011028	SMALL CELL SITE CONSUL	0.00	212.50
105100	88009	07/20/20	244 MURPHY ACE HARDWARE	2400 010921	JUNE CHARGES	0.00	101.17
105100	88009	07/20/20	244 MURPHY ACE HARDWARE	2400 010925	JUNE CHARGES	0.00	4.05
105100	88009	07/20/20	244 MURPHY ACE HARDWARE	2400 010924	JUNE CHARGES	0.00	40.41
105100	88009	07/20/20	244 MURPHY ACE HARDWARE	2400 063447	JUNE CHARGES	0.00	71.58
105100	88009	07/20/20	244 MURPHY ACE HARDWARE	2400 053443	JUNE CHARGES	0.00	87.24
105100	88009	07/20/20	244 MURPHY ACE HARDWARE	2400 053443	JUNE CHARGES	0.00	70.15
105100	88009	07/20/20	244 MURPHY ACE HARDWARE	2400 093454	JUNE CHARGES	0.00	75.17
105100	88009	07/20/20	244 MURPHY ACE HARDWARE	2400 433476	JUNE CHARGES	0.00	62.35
TOTAL CHECK						0.00	512.12
105100	88010	07/20/20	4735 NAPA AUTO PARTS	010925	CREDIT TAKEN IN ERROR	0.00	67.90
105100	88010	07/20/20	4735 NAPA AUTO PARTS	063447	512	0.00	6.61
105100	88010	07/20/20	4735 NAPA AUTO PARTS	010925	STOCK	0.00	160.46
105100	88010	07/20/20	4735 NAPA AUTO PARTS	010925	344	0.00	160.46
105100	88010	07/20/20	4735 NAPA AUTO PARTS	010925	RESTOCK	0.00	39.00
105100	88010	07/20/20	4735 NAPA AUTO PARTS	010925	RESTOCK	0.00	4.92
105100	88010	07/20/20	4735 NAPA AUTO PARTS	010925	RESTOCK	0.00	46.24
TOTAL CHECK						0.00	485.59
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	053443	6/6-7/7/20	0.00	121.46
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	053443	6/4-7/4/20	0.00	44.45
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	053443	6/5-7/5/20	0.00	52.84
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	063447	6/5-7/5/20	0.00	38.49
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	053443	6/3-7/2/20	0.00	40.54
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	053443	6/1-7/2/20	0.00	39.00
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	063448	6/4-7/5/20	0.00	127.86
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	010921	6/4-7/4/20	0.00	120.98
105100	88011	07/20/20	250 NORTHERN ILLINOIS GAS	063447	6/5-7/5/20	0.00	38.49
TOTAL CHECK						0.00	624.11
105100	88012	07/20/20	15112 PACE SUBURBAN BUS	010207	APRIL 2020 LOCAL SHARE	0.00	824.13
105100	88013	07/20/20	3739 PADDOCK PUBLICATIONS	011028	NOTICE OF PUBLIC HEARI	0.00	105.80
105100	88014	07/20/20	12671 PEOPLE MADE VISIBLE, INC	010110	HEALTHY WEST CHICAGO'S	0.00	12,500.00
105100	88015	07/20/20	13590 PHALEN CONSULTING, INC	011030	JULY 2020 OPERATING FE	0.00	3,675.00
105100	88015	07/20/20	13590 PHALEN CONSULTING, INC	093454	JULY 2020 OPERATING FE	0.00	3,675.00
TOTAL CHECK						0.00	7,350.00
105100	88016	07/20/20	13516 PIONEER TIRE REPAIR	010925	INVOICE #7620 DATED 07	0.00	190.37



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105100	88017	07/20/20	2487	PITNEY BOWES	010510	POSTAGE MACHINE RENTAL	0.00 344.00
105100	88017	07/20/20	2487	PITNEY BOWES	053443	POSTAGE MACHINE RENTAL	0.00 344.00
105100	88017	07/20/20	2487	PITNEY BOWES	063447	POSTAGE MACHINE RENTAL	0.00 344.00
TOTAL CHECK						0.00	1,032.00
105100	88018	07/20/20	11480	PJD ELECTRICAL SALES, IN	083453	LUMEC STREET LIGHT FIX	0.00 5,367.00
105100	88019	07/20/20	14172	PLANET DEPOS, LLC	011028	PUBLIC HEARING TRANSCR	0.00 765.89
105100	88020	07/20/20	3714	POMP'S TIRE SERVICE, INC	010925	743 SERVICE	0.00 130.00
105100	88020	07/20/20	3714	POMP'S TIRE SERVICE, INC	010925	INVOICE #330156858 DAT	0.00 481.32
105100	88020	07/20/20	3714	POMP'S TIRE SERVICE, INC	053443	540	0.00 219.75
TOTAL CHECK						0.00	831.07
105100	88021	07/20/20	13791	PORTER LEE CORPORATION	010613	INVOICE #23999	0.00 1,165.00
105100	88022	07/20/20	7404	MICHAEL POTAPCZAK	010613	MEMO REQUEST DATE 07 0	0.00 264.58
105100	88023	07/20/20	492	RAY O' HERRON, INC.	010613	INVOICE # 2037325-IN	0.00 23.99
105100	88023	07/20/20	492	RAY O' HERRON, INC.	010613	INVOICE #2036841-IN	0.00 3.15
105100	88023	07/20/20	492	RAY O' HERRON, INC.	010613	INVOICE #2036840-IN	0.00 20.00
105100	88023	07/20/20	492	RAY O' HERRON, INC.	010613	INVOICE #2036838-IN	0.00 25.00
TOTAL CHECK						0.00	72.14
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	063447	INVOICE #3019605583 DA	0.00 27.06
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	063447	INVOICE #3019612563 DA	0.00 6.91
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	063447	INVOICE #3019649595 DA	0.00 653.91
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	053443	INVOICE #3019693308 DA	0.00 994.68
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	063447	INVOICE #3019715579 DA	0.00 380.70
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	010925	INVOICE #3019715539 DA	0.00 34.76
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	010925	INV 3017983365 1/16/20	0.00 -13.61
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	010925	INVOICE #3019417171 DA	0.00 853.94
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	010925	INV 3017655057 12/16/1	0.00 -79.80
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	010925	INV 3017673174 12/17/1	0.00 -142.34
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	010925	RETURN INVOICE #301786	0.00 -504.07
105100	88024	07/20/20	13908	RUSH TRUCK CENTERS OF IL	010925	INV 3018274789 2/10/20	0.00 -116.64
TOTAL CHECK						0.00	2,095.50
105100	88025	07/20/20	11440	RUSSO POWER EQUIPMENT	010925	INVOICE #SPI10309284 D	0.00 189.98
105100	88026	07/20/20	14838	SJK OF WEST CHICAGO, INC	010613	BALANCE JUNE CAR WASH	0.00 60.00
105100	88026	07/20/20	14838	SJK OF WEST CHICAGO, INC	010613	JULY PD CAR WASHES	0.00 126.00
TOTAL CHECK						0.00	186.00
105100	88027	07/20/20	4095	STANDARD EQUIPMENT COMPA	053443	INVOICE #P22601 DATED	0.00 495.55
105100	88027	07/20/20	4095	STANDARD EQUIPMENT COMPA	053443	INVOICE #P22720 DATED	0.00 495.55
105100	88027	07/20/20	4095	STANDARD EQUIPMENT COMPA	053443	CREDIT RETURN	0.00 -427.18
TOTAL CHECK						0.00	563.92
105100	88028	07/20/20	14733	STERICYCLE ENVIRONMENTAL	010613	INVOICE #74302874741	0.00 551.65
105100	88028	07/20/20	14733	STERICYCLE ENVIRONMENTAL	010613	INVOICE #74302863921	0.00 586.00
105100	88028	07/20/20	14733	STERICYCLE ENVIRONMENTAL	010613	INVOICE #74302832860	0.00 727.62



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TOTAL CHECK						0.00	1,865.27
105100	88029	07/20/20	1762	SUBURBAN LABORATORIES, I 063447	INVOICE #177830 DATED	0.00	428.50
105100	88030	07/20/20	14715	SUPERION, LLC 010502	ANNUAL MAINTENANCE FPL	0.00	9,881.94
105100	88030	07/20/20	14715	SUPERION, LLC 011028	ANNUAL MAINTENANCE FPL	0.00	2,622.95
105100	88030	07/20/20	14715	SUPERION, LLC 011029	ANNUAL MAINTENANCE FPL	0.00	6,994.54
105100	88030	07/20/20	14715	SUPERION, LLC 053443	ANNUAL MAINTENANCE FPL	0.00	11,696.06
105100	88030	07/20/20	14715	SUPERION, LLC 063447	ANNUAL MAINTENANCE FPL	0.00	8,295.41
TOTAL CHECK						0.00	39,490.90
105100	88031	07/20/20	11730	TECHNIVISTA, INC. 010208	JUNE 2020	0.00	1,186.00
105100	88032	07/20/20	9209	THIRD MILLENNIUM ASSOCIA 011028	PRINTING, FOLDING & IN	0.00	1,311.88
105100	88032	07/20/20	9209	THIRD MILLENNIUM ASSOCIA 053443	PROCESSING & MAILING O	0.00	680.75
105100	88032	07/20/20	9209	THIRD MILLENNIUM ASSOCIA 063447	PROCESSING & MAILING O	0.00	680.75
TOTAL CHECK						0.00	2,673.38
105100	88033	07/20/20	12102	THOMAS ENGINEERING GROUP 083453	RESOLUTION NO. 17-R-00	0.00	86,377.77
105100	88034	07/20/20	12774	T-MOBILE 010925	STATEMENT DATED 07-03-	0.00	6,563.62
105100	88035	07/20/20	15072	TOSCAS LAW GROUP 010613	STATEMENT DATE: 07 13	0.00	300.00
105100	88036	07/20/20	3349	TRAFFIC CONTROL AND PROT 083453	YIELD SIGN	0.00	98.30
105100	88036	07/20/20	3349	TRAFFIC CONTROL AND PROT 083453	YIELD SIGN	0.00	294.90
105100	88036	07/20/20	3349	TRAFFIC CONTROL AND PROT 083453	YIELD SIGN	0.00	294.90
105100	88036	07/20/20	3349	TRAFFIC CONTROL AND PROT 083453	MISC SIGN	0.00	185.85
105100	88036	07/20/20	3349	TRAFFIC CONTROL AND PROT 083453	ONE WAY SIGNS	0.00	100.60
105100	88036	07/20/20	3349	TRAFFIC CONTROL AND PROT 083453	YIELD SIGN	0.00	294.90
TOTAL CHECK						0.00	1,269.45
105100	88037	07/20/20	2027	TRANS UNION CORPORATION 010613	INVOICE # 06000343	0.00	100.00
105100	88038	07/20/20	14383	ULTRA STROBE COMMUNICATI 010613	INVOICE #077577	0.00	736.00
105100	88038	07/20/20	14383	ULTRA STROBE COMMUNICATI 010613	INVOICE #077576	0.00	736.00
105100	88038	07/20/20	14383	ULTRA STROBE COMMUNICATI 010613	INVOICE #077554	0.00	575.00
105100	88038	07/20/20	14383	ULTRA STROBE COMMUNICATI 010613	INVOICE #077563	0.00	575.00
TOTAL CHECK						0.00	2,622.00
105100	88039	07/20/20	4406	U.S.A. BLUEBOOK 010924	HYDRANT ADAPTER AND V	0.00	147.88
105100	88039	07/20/20	4406	U.S.A. BLUEBOOK 010924	INLET/OUTLET BRASS	0.00	205.72
105100	88039	07/20/20	4406	U.S.A. BLUEBOOK 010924	HYDRANT ADAPTER	0.00	85.15
105100	88039	07/20/20	4406	U.S.A. BLUEBOOK 010924	NIPPLE BRASS BALL	0.00	281.24
105100	88039	07/20/20	4406	U.S.A. BLUEBOOK 053443	GASKET	0.00	74.79
105100	88039	07/20/20	4406	U.S.A. BLUEBOOK 053443	STRAINER	0.00	44.74
105100	88039	07/20/20	4406	U.S.A. BLUEBOOK 053443	ADAPTER AND COUPLER	0.00	161.88
105100	88039	07/20/20	4406	U.S.A. BLUEBOOK 010924	INVOICE #269770 DATED	0.00	326.06
TOTAL CHECK						0.00	1,327.46
105100	88040	07/20/20	4207	VERIZON WIRELESS 053443	4/24-5/23/20	0.00	19.00
105100	88040	07/20/20	4207	VERIZON WIRELESS 063447	4/24-5/23/20	0.00	19.01

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105100	88040	07/20/20	4207	VERIZON WIRELESS	011029	4/24-5/23/20	0.00 114.03
105100	88040	07/20/20	4207	VERIZON WIRELESS	010510	4/24-5/23/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	010613	4/24-5/23/20	0.00 114.03
105100	88040	07/20/20	4207	VERIZON WIRELESS	010210	4/24-5/23/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	010210	5/24-6/23/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	053443	5/24-6/23/20	0.00 19.00
105100	88040	07/20/20	4207	VERIZON WIRELESS	063447	5/24-6/23/20	0.00 19.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	011029	5/24-6/23/20	0.00 114.03
105100	88040	07/20/20	4207	VERIZON WIRELESS	010510	5/24-6/23/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	010613	5/24-6/23/20	0.00 114.03
105100	88040	07/20/20	4207	VERIZON WIRELESS	010210	6/24-7/23/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	053443	6/24-7/23/20	0.00 19.00
105100	88040	07/20/20	4207	VERIZON WIRELESS	063447	6/24-7/23/20	0.00 19.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	011029	6/24-7/23/20	0.00 114.03
105100	88040	07/20/20	4207	VERIZON WIRELESS	010510	6/24-7/23/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	010613	6/24-7/23/20	0.00 114.03
105100	88040	07/20/20	4207	VERIZON WIRELESS	010210	6/24-7/23/20	0.00 46.87
105100	88040	07/20/20	4207	VERIZON WIRELESS	010613	6/24-7/23/20	0.00 1,271.84
105100	88040	07/20/20	4207	VERIZON WIRELESS	010501	6/24-7/23/20	0.00 46.87
105100	88040	07/20/20	4207	VERIZON WIRELESS	010510	6/24-7/23/20	0.00 46.87
105100	88040	07/20/20	4207	VERIZON WIRELESS	011029	6/24-7/23/20	0.00 78.04
105100	88040	07/20/20	4207	VERIZON WIRELESS	010208	6/24-7/23/20	0.00 46.87
105100	88040	07/20/20	4207	VERIZON WIRELESS	010613	SRV 6/7-7/6/20	0.00 1,628.37
105100	88040	07/20/20	4207	VERIZON WIRELESS	010614	SRV 6/7-7/6/20	0.00 76.02
105100	88040	07/20/20	4207	VERIZON WIRELESS	010210	SRV 6/7-7/6/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	010504	SRV 6/7-7/6/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	010502	SRV 6/7-7/6/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	010510	SRV 6/7-7/6/20	0.00 38.01
105100	88040	07/20/20	4207	VERIZON WIRELESS	010110	SRV 6/7-7/6/20	0.00 38.01
TOTAL CHECK						0.00	4,458.07
105100	88041	07/20/20	9018	VERMEER MIDWEST, INC.	010924	POCKET STANDARD CABIN	0.00 293.98
105100	88042	07/20/20	3273	WASTE MANAGEMENT	010207	TURNER JUNCTION WASTE	0.00 635.60
105100	88043	07/20/20	4823	WATER PRODUCTS AURORA	053443	INVOICE #0296233 DATED	0.00 770.38
105100	88044	07/20/20	14940	WAYTEK, INC	063447	INVOICE #3001623 DATED	0.00 168.67
105100	88044	07/20/20	14940	WAYTEK, INC	010925	INVOICE #3001631 DATED	0.00 168.93
TOTAL CHECK						0.00	337.60
105100	88046	07/20/20	11115	WELCH BROTHERS, INC.	083453	CURB EXPANSION	0.00 296.30
105100	88047	07/20/20	15211	WEST CHICAGO PRINTING	010613	INVOICE #43618	0.00 223.00
105100	88047	07/20/20	15211	WEST CHICAGO PRINTING	010613	INVOICE #43609	0.00 1,588.00
TOTAL CHECK						0.00	1,811.00
105100	88048	07/20/20	11177	WILKENS ANDERSON CO.	063448	INVOICE #S1190824.001	0.00 261.31
105100	V88045	07/20/20	15061	WCWWA	053443	INVOICE # 062020 WC	0.00 209,193.56
TOTAL CASH ACCOUNT						0.00	594,961.47

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CITY OF WEST CHICAGO  
CHECK REGISTER - DISBURSEMENT FUND

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SELECTION CRITERIA: transact.batch='G394' and transact.ck\_date='20200720 00:00:00.000'  
ACCOUNTING PERIOD: 7/20

FUND - 40 - OPERATING FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	-----DEPT-DIV	-----DESCRIPTION-----	SALES TAX	AMOUNT
TOTAL FUND						0.00	594,961.47
TOTAL REPORT						0.00	594,961.47



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CITY OF WEST CHICAGO  
 CASH REQUIREMENTS BILL LIST

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 ACCOUNTING PERIOD: 7/20

SELECTION CRITERIA: payable.due\_date='20200720 00:00:00.000'  
 PAYMENT TYPE: ALL

FUND - 01 - GENERAL FUND

DEPT-DIV	ACCOUNT	TITLE	VENDOR	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
01	131100	INVENTORY-DIESEL	15084	GAS DEPOT	00094225-01	81733-1	0.00	4245.80
01	131200	INVENTORY-GASOLI	15084	GAS DEPOT	00094225-01	81732	0.00	8735.08
01	226900	SUSPENSE	12268	CALL ONE		262670	0.00	57289.18
TOTAL GENERAL FUND							0.00	70270.06
010110	4012	CORP COUNSEL-SAL	7994	BOND, DICKSON & ASSOC	00094265-01	JUNE 2020	0.00	250.00
010110	4211	PRINTING & BINDI	242	MUNICIPAL CODE CORPOR	00094106-01	00343946	0.00	350.00
010110	4660	GRANTS DISBURSEM	12671	PEOPLE MADE VISIBLE,	00094262-01	HWC3.20	0.00	12500.00
010110	4720	OTHER CHARGES	4207	VERIZON WIRELESS		980505522	0.00	38.01
TOTAL CITY COUNCIL-OPERATIONS							0.00	13138.01
010207	4225	OTHER CONTRACTUA	3273	WASTE MANAGEMENT	00094285-01	4011796-2011G394	0.00	635.60
010207	4234	PARATRANSIT SERV	15112	PACE SUBURBAN BUS	00094282-01	578068	0.00	824.13
TOTAL CITY ADMIN-SPECIAL PROJ							0.00	1459.73
010208	4100	LEGAL FEES	7994	BOND, DICKSON & ASSOC	00094265-01	JUNE 2020	0.00	5104.80
010208	4112	MEMBERSHIPS/DUES	11735	MH SOFTWARE, INC.	00094258-01	107840	0.00	468.00
010208	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585742141-00G394	0.00	46.87
010208	4225	OTHER CONTRACTUA	11730	TECHNIVISTA, INC.	00094264-01	WC200707	0.00	1186.00
TOTAL CITY ADMIN-MARKET/COMM							0.00	6805.67
010210	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		980505522	0.00	38.01
010210	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394	0.00	38.01
010210	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585742141-00G394	0.00	46.87
010210	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394	0.00	38.01
010210	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394	0.00	38.01
TOTAL CITY ADMIN-ADMIN							0.00	198.91
010219	4225	OTHER CONTRACTUA	14400	7 LAYER SOLUTIONS, IN	00093803-01	4930	0.00	14.99
010219	4225	OTHER CONTRACTUA	14400	7 LAYER SOLUTIONS, IN	00094293-01	4930	0.00	14.99
010219	4600	COMPUTER/OFFICE	12617	ACCURATE OFFICE SUPPL		JUNE CHARGESG394	0.00	93.36
010219	4650	MISCELLANEOUS CO	13021	CASE LOTS, INC	00094205-01	6307	0.00	4477.25
010219	4806	OTHER CAPITAL OU	12617	ACCURATE OFFICE SUPPL	00094255-01	517103	0.00	226.32
010219	4806	OTHER CAPITAL OU	12617	ACCURATE OFFICE SUPPL	00094255-02	517293	0.00	1131.60
010219	4806	OTHER CAPITAL OU	12617	ACCURATE OFFICE SUPPL	00094255-03	517459	0.00	226.32
010219	4806	OTHER CAPITAL OU	12617	ACCURATE OFFICE SUPPL	00094255-04	516843	0.00	389.07
010219	4806	OTHER CAPITAL OU	12617	ACCURATE OFFICE SUPPL	00094255-05	517102	0.00	3499.75
010219	4806	OTHER CAPITAL OU	12617	ACCURATE OFFICE SUPPL	00094255-06	517699	0.00	1399.90
010219	4806	OTHER CAPITAL OU	12617	ACCURATE OFFICE SUPPL	00094255-07	517539&51710G394	0.00	-286.54
010219	4816	RETAIL GRANT PRO	15003	MARIA MERCEDES ARROYO	00094277-01	207 MAIN	0.00	3000.00
TOTAL CITY ADMIN - COVID19							0.00	14187.01
010501	4053	HEALTH/DENTAL/LI	11307	HEALTH SMART	00092141-01	F0620032	0.00	114.30

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CITY OF WEST CHICAGO  
 CASH REQUIREMENTS BILL LIST

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 PAYMENT TYPE: ALL

FUND - 01 - GENERAL FUND

DEPT-DIV	ACCOUNT	TITLE	VENDOR	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
010501	4100	LEGAL FEES	12853	GOLDSTINE, SKRODZKI,	00094266-01	152083	G394	0.00
010501	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585742141-00G394		0.00
TOTAL ADMIN SERVICES-HR							0.00	200.33
010502	4125	SOFTWARE MAINTEN	14715	SUPERION, LLC	00094296-01	2800007	G394	0.00
010502	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		980505522	G394	0.00
TOTAL ADMIN SERVICES-ACCTG							0.00	9919.95
010503	4105	CONSULTANTS	14400	7 LAYER SOLUTIONS, IN	00093205-01	4930	G394	0.00
010503	4109	NETWORK CHARGES	13257	COMCAST CABLE		877120038038G394		0.00
010503	4125	SOFTWARE MAINTEN	14400	7 LAYER SOLUTIONS, IN	00093602-01	4924	G394	0.00
010503	4125	SOFTWARE MAINTEN	14400	7 LAYER SOLUTIONS, IN	00094295-01	4899	G394	0.00
010503	4225	OTHER CONTRACTUA	14400	7 LAYER SOLUTIONS, IN		4929	G394	0.00
TOTAL ADMIN SERVICES-IT							0.00	12750.88
010504	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		980505522	G394	0.00
TOTAL ADMIN SERVICES-GIS							0.00	38.01
010510	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		980505522	G394	0.00
010510	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585742141-00G394		0.00
010510	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00
010510	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00
010510	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00
010510	4501	POSTAL METER REN	2487	PITNEY BOWES	00093528-01	3104065048	G394	0.00
010510	4600	COMPUTER/OFFICE	12617	ACCURATE OFFICE SUPPL		JUNE CHARGESG394		0.00
TOTAL ADMIN SERVICES-ADMIN							0.00	594.26
010613	4100	LEGAL FEES	15072	TOSCAS LAW GROUP	00094274-01	RED LT VIO	G394	0.00
010613	4100	LEGAL FEES	7994	BOND, DICKSON & ASSOC	00094265-01	JUNE 2020	G394	0.00
010613	4100	LEGAL FEES	8248	MARQUARDT & BELMONTE	00094272-01	10623	G394	0.00
010613	4100	LEGAL FEES	8248	MARQUARDT & BELMONTE	00094272-02	10621	G394	0.00
010613	4110	TRAINING & TUITI	13673	AMERICAN RED CROSS -	00094288-01	2281658	G394	0.00
010613	4125	SOFTWARE MAINTEN	13791	PORTER LEE CORPORATIO	00094230-01	23999	G394	0.00
010613	4202	TELEPHONE & ALAR	2298	LANGUAGE LINE SERVICE		JUNE 2020	G394	0.00
010613	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585742141-00G394		0.00
010613	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00
010613	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00
010613	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00
010613	4211	PRINTING & BINDI	15211	WEST CHICAGO PRINTING	00094219-01	43609	G394	0.00
010613	4211	PRINTING & BINDI	15211	WEST CHICAGO PRINTING	00094290-01	43618	G394	0.00
010613	4225	OTHER CONTRACTUA	10042	LEXISNEXIS RISK DATA	00094267-01	1088361-2020G394		0.00
010613	4225	OTHER CONTRACTUA	14733	STERICYCLE ENVIRONMEN	00094232-01	74302832860	G394	0.00
010613	4225	OTHER CONTRACTUA	14733	STERICYCLE ENVIRONMEN	00094269-01	74302863921	G394	0.00
010613	4225	OTHER CONTRACTUA	14733	STERICYCLE ENVIRONMEN	00094275-01	74302874741	G394	0.00

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 CASH REQUIREMENTS BILL LIST

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FUND - 01 - GENERAL FUND

DEPT-DIV	ACCOUNT	TITLE	VENDOR	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
010613	4225	OTHER CONTRACTUA	2027	TRANS UNION CORPORATI	00094231-01	06000343	G394	100.00
010613	4225	OTHER CONTRACTUA	4207	VERIZON WIRELESS		980505522	G394	1628.37
010613	4230	GRAFFITI REMOVAL	15271	EXSTREAM CLEAN	00094289-01	INV-1168	G394	2660.00
010613	4230	GRAFFITI REMOVAL	15271	EXSTREAM CLEAN	00094291-01	INV-1170	G394	1350.00
010613	4230	GRAFFITI REMOVAL	15271	EXSTREAM CLEAN	00094291-02	INV-1169	G394	1540.00
010613	4231	RECEPTION SUPPOR	12365	ANDY FRAIN SERVICES	00094273-01	290626	G394	11585.93
010613	4423	RADIO/RADAR EQUI	14383	ULTRA STROBE COMMUNIC	00094227-01	077554	G394	575.00
010613	4423	RADIO/RADAR EQUI	14383	ULTRA STROBE COMMUNIC	00094229-01	077563	G394	575.00
010613	4423	RADIO/RADAR EQUI	14383	ULTRA STROBE COMMUNIC	00094271-01	077576	G394	736.00
010613	4423	RADIO/RADAR EQUI	14383	ULTRA STROBE COMMUNIC	00094271-02	077577	G394	736.00
010613	4502	COPIER FEES	12995	GREAT AMERICA LEASING	00094270-01	27322788	G394	219.20
010613	4502	COPIER FEES	14784	BRADEN BUSINESS SYSTE	00094218-01	647347	G394	45.00
010613	4600	COMPUTER/OFFICE	12617	ACCURATE OFFICE SUPPL		JUNE CHARGESG394	G394	50.98
010613	4607	GAS & OIL	7404	MICHAEL POTAPCZAK	00094228-01	REIMB FUEL	G394	264.58
010613	4615	UNIFORMS/SAFETY	492	RAY O'HERRON, INC.	00094226-01	2036841	G394	3.15
010613	4615	UNIFORMS/SAFETY	492	RAY O'HERRON, INC.	00094226-02	2036840-IN	G394	20.00
010613	4615	UNIFORMS/SAFETY	492	RAY O'HERRON, INC.	00094226-03	2036838-IN	G394	25.00
010613	4615	UNIFORMS/SAFETY	492	RAY O'HERRON, INC.	00094268-01	2037325-IN	G394	23.99
010613	4617	FIRST AID SUPPLI	11134	JUST SAFETY, LTD.		34776	G394	42.20
010613	4618	AMMUNITION/FIREA	6601	MENARDS		JUNE CHARGESG394	G394	19.60
010613	4650	MISCELLANEOUS CO	12617	ACCURATE OFFICE SUPPL		JUNE CHARGESG394	G394	29.99
010613	4650	MISCELLANEOUS CO	14838	SJK OF WEST CHICAGO,		29	G394	60.00
010613	4650	MISCELLANEOUS CO	14838	SJK OF WEST CHICAGO,		30	G394	126.00
010613	4650	MISCELLANEOUS CO	6601	MENARDS		JUNE CHARGESG394	G394	30.05
TOTAL POLICE-OPERATIONS							0.00	38524.56
010614	4225	OTHER CONTRACTUA	4207	VERIZON WIRELESS		980505522	G394	76.02
TOTAL POLICE-ESDA							0.00	76.02
010910	4100	LEGAL FEES	12712	BARNES & THORNBURG, L	00094260-01	2363434	G394	282.50
010910	4600	COMPUTER/OFFICE	12617	ACCURATE OFFICE SUPPL		JUNE CHARGESG394	G394	17.71
TOTAL PUBLIC WORKS-ADMIN							0.00	300.21
010921	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		04739367748	G394	120.98
010921	4225	OTHER CONTRACTUA	12380	CINTAS CORPORATION	00093082-02	4054722083	G394	13.43
010921	4225	OTHER CONTRACTUA	12380	CINTAS CORPORATION	00093082-03	4054722031	G394	11.81
010921	4225	OTHER CONTRACTUA	12380	CINTAS CORPORATION	00093082-04	4054721967	G394	17.80
010921	4225	OTHER CONTRACTUA	12380	CINTAS CORPORATION	00093082-05	4054722065	G394	9.48
010921	4650	MISCELLANEOUS CO	2013	GRAINGER	00094203-01	9570481631	G394	457.60
010921	4650	MISCELLANEOUS CO	244	MURPHY ACE HARDWARE 2		JUNE CHARGESG394	G394	101.17
010921	4650	MISCELLANEOUS CO	6601	MENARDS		JUNE CHARGESG394	G394	217.79
010921	4650	MISCELLANEOUS CO	6601	MENARDS	00094148-01	06782	G394	419.99
010921	4650	MISCELLANEOUS CO	6601	MENARDS	00094148-02	06781	G394	381.28
TOTAL PUBLIC WORKS-MUN PROP							0.00	1751.33



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 PAYMENT TYPE: ALL

FUND - 01 - GENERAL FUND

DEPT-DIV	ACCOUNT	TITLE	VENDOR	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
010922	4225	OTHER CONTRACTUA	665	KRAMER TREE SPECIALIS	00093223-01	93796	G394	0.00 25.00
TOTAL PUBLIC WORKS-FORESTRY							0.00	25.00
010923	4216	GROUNDS MAINTENA	1843	CEMETERY MANAGEMENT,	00093231-01	00-18339	G394	0.00 2450.00
010923	4216	GROUNDS MAINTENA	1843	CEMETERY MANAGEMENT,	00093231-01	00-+18340	G394	0.00 1225.00
010923	4217	CEMETERY SEXTON	1843	CEMETERY MANAGEMENT,	00093231-01	0018335	G394	0.00 1200.00
TOTAL PUBLIC WORKS-CEMETERIES							0.00	4875.00
010924	4650	MISCELLANEOUS CO	14928	AIR ONE EQUIPMENT, IN	00094257-01	158094	G394	0.00 26.00
010924	4650	MISCELLANEOUS CO	231	MC MASTER-CARR SUPPLY		41633951	G394	0.00 95.46
010924	4650	MISCELLANEOUS CO	244	MURPHY ACE HARDWARE 2		JUNE CHARGESG394	G394	0.00 40.41
010924	4650	MISCELLANEOUS CO	4406	U.S.A. BLUEBOOK		275146	G394	0.00 147.88
010924	4650	MISCELLANEOUS CO	4406	U.S.A. BLUEBOOK		273708	G394	0.00 205.72
010924	4650	MISCELLANEOUS CO	4406	U.S.A. BLUEBOOK		277824	G394	0.00 85.15
010924	4650	MISCELLANEOUS CO	4406	U.S.A. BLUEBOOK		277823	G394	0.00 281.24
010924	4650	MISCELLANEOUS CO	4406	U.S.A. BLUEBOOK	00094241-01	269770	G394	0.00 326.06
010924	4650	MISCELLANEOUS CO	5124	COLTHARP'S SALES & SE		46298	G394	0.00 297.60
010924	4650	MISCELLANEOUS CO	6601	MENARDS		JUNE CHARGESG394	G394	0.00 443.33
010924	4650	MISCELLANEOUS CO	9018	VERMEER MIDWEST, INC.		PF1153	G394	0.00 293.98
TOTAL PUBLIC WORKS-R & B							0.00	2242.83
010925	4603	PARTS FOR VEHICL	11440	RUSSO POWER EQUIPMENT	00094237-01	SPI10309284	G394	0.00 189.98
010925	4603	PARTS FOR VEHICL	12643	KIMBALL MIDWEST	00094256-01	8033927	G394	0.00 286.48
010925	4603	PARTS FOR VEHICL	12643	KIMBALL MIDWEST	00094256-02	8034815	G394	0.00 287.81
010925	4603	PARTS FOR VEHICL	13516	PIONEER TIRE REPAIR	00094244-01	7620	G394	0.00 190.37
010925	4603	PARTS FOR VEHICL	13555	JX ENTERPRISES, INC	00094158-02	25116019P	G394	0.00 15.44
010925	4603	PARTS FOR VEHICL	13555	JX ENTERPRISES, INC	00094158-03	25100239P	G394	0.00 -133.90
010925	4603	PARTS FOR VEHICL	13555	JX ENTERPRISES, INC	00094158-05	25115574P	G394	0.00 205.99
010925	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094169-06	3019715539	G394	0.00 34.76
010925	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094169-07	3017983365	G394	0.00 -13.61
010925	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094206-01	3019417171	G394	0.00 853.94
010925	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094206-02	3017864511	G394	0.00 -504.07
010925	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094206-03	3018274789	G394	0.00 -116.64
010925	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094206-04	3017673174	G394	0.00 -142.34
010925	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094206-05	3017655057	G394	0.00 -79.80
010925	4603	PARTS FOR VEHICL	14940	WAYTEK, INC	00094254-02	3001631	G394	0.00 168.93
010925	4603	PARTS FOR VEHICL	150	COFFMAN TRUCK SALES	00094243-01	142363	G394	0.00 40.84
010925	4603	PARTS FOR VEHICL	2013	GRAINGER		9570320151	G394	0.00 202.90
010925	4603	PARTS FOR VEHICL	244	MURPHY ACE HARDWARE 2		JUNE CHARGESG394	G394	0.00 4.05
010925	4603	PARTS FOR VEHICL	3714	POMP'S TIRE SERVICE,		640082022	G394	0.00 130.00
010925	4603	PARTS FOR VEHICL	3714	POMP'S TIRE SERVICE,	00094198-01	330156858	G394	0.00 481.32
010925	4603	PARTS FOR VEHICL	4554	FLEET SAFETY SUPPLY	00094245-01	75135	G394	0.00 59.21
010925	4603	PARTS FOR VEHICL	4735	NAPA AUTO PARTS		4496-105350	G394	0.00 160.46
010925	4603	PARTS FOR VEHICL	4735	NAPA AUTO PARTS		4496-105351	G394	0.00 160.46
010925	4603	PARTS FOR VEHICL	4735	NAPA AUTO PARTS		4496-105525	G394	0.00 39.00
010925	4603	PARTS FOR VEHICL	4735	NAPA AUTO PARTS		4496-105600	G394	0.00 4.92

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FUND - 01 - GENERAL FUND

DEPT-DIV	ACCOUNT	TITLE	VENDOR	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
010925	4603	PARTS FOR VEHICL	4735	NAPA AUTO PARTS	4496-105625	G394	0.00	46.24
010925	4603	PARTS FOR VEHICL	4735	NAPA AUTO PARTS	4496-103801	G394	0.00	67.90
010925	4603	PARTS FOR VEHICL	6601	MENARDS	JUNE CHARGESG394		0.00	110.56
010925	4603	PARTS FOR VEHICL	6601	MENARDS	00094199-01 07811	G394	0.00	347.53
010925	4604	TOOLS & EQUIPMEN	2013	GRAINGER	00094167-05 9561883316	G394	0.00	485.00
010925	4650	MISCELLANEOUS CO	12774	T-MOBILE	00094240-01 867615741	G394	0.00	6563.62
TOTAL PUBLIC WORKS-MAINT GAR							0.00	10147.35
010926	4204	ELECTRIC	151	COMED	0187077032	G394	0.00	642.82
TOTAL MOTOR FUEL TAX							0.00	642.82
011028	4100	LEGAL FEES	7994	BOND, DICKSON & ASSOC	00094265-01 JUNE 2020	G394	0.00	120.00
011028	4112	MEMBERSHIPS/DUES	2854	ILLINOIS TAX INCREMEN	00094279-01 674354	G394	0.00	550.00
011028	4125	SOFTWARE MAINTEN	14715	SUPERION, LLC	00094296-01 2800007	G394	0.00	2622.95
011028	4200	LEGAL NOTICES	3739	PADDOCK PUBLICATIONS	00094283-01 150350	G394	0.00	105.80
011028	4223	LEGAL REPORTER F	14172	PLANET DEPOS, LLC	00094287-01 335986	G394	0.00	765.89
011028	4225	OTHER CONTRACTUA	12391	KANE, MCKENNA & ASSOC	00094286-01 17122	G394	0.00	325.00
011028	4225	OTHER CONTRACTUA	12391	KANE, MCKENNA & ASSOC	00094286-02 17262	G394	0.00	912.50
011028	4225	OTHER CONTRACTUA	15128	MUNICIPAL SERVICES AS	00094281-01 32-1978-20	G394	0.00	212.50
011028	4225	OTHER CONTRACTUA	9209	THIRD MILLENNIUM ASSO	00094294-01 24976	G394	0.00	1311.88
011028	4600	COMPUTER/OFFICE	12617	ACCURATE OFFICE SUPPL	JUNE CHARGESG394		0.00	29.54
TOTAL COM DEV-PLANNING							0.00	6956.06
011029	4100	LEGAL FEES	7994	BOND, DICKSON & ASSOC	00094265-01 JUNE 2020	G394	0.00	300.00
011029	4100	LEGAL FEES	8248	MARQUARDT & BELMONTE	00094280-01 10622	G394	0.00	1108.80
011029	4113	ENFORCEMENT & IN	1800	B & F CONSTRUCTION CO	00094276-01 54027	G394	0.00	14375.00
011029	4125	SOFTWARE MAINTEN	14715	SUPERION, LLC	00094296-01 2800007	G394	0.00	6994.54
011029	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS	585040673-00G394		0.00	114.03
011029	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS	585040673-00G394		0.00	114.03
011029	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS	585040673-00G394		0.00	114.03
011029	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS	585742141-00G394		0.00	78.04
TOTAL COM DEV-BUILDING & CODE							0.00	23198.47
011030	4225	OTHER CONTRACTUA	13590	PHALEN CONSULTING, IN	00094284-01 89	G394	0.00	3675.00
011030	4502	COPIER FEES	14784	BRADEN BUSINESS SYSTE	00094278-01 649739	G394	0.00	73.68
TOTAL COM DEV-MUSEUM							0.00	3748.68
TOTAL FUND							0.00	222051.15

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FUND - 04 - CAPITAL EQUIP. REPLACE

DEPT-DIV	ACCOUNT	-----TITLE-----	-----VENDOR-----	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
043439	4804	VEHICLES	13555 JX ENTERPRISES, INC	00094158-01	25113965P	G394	0.00	180.99
TOTAL CAPITAL EQUIPMENT REPLACE							0.00	180.99
TOTAL FUND							0.00	180.99



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FUND - 05 - SEWER FUND

DEPT-DIV	ACCOUNT	-----TITLE-----	-----VENDOR-----	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT	
053443	4100	LEGAL FEES	12853	GOLDSTINE, SKRODZKI,	00094266-01	152083	G394	0.00	39.17
053443	4105	CONSULTANTS	14400	7 LAYER SOLUTIONS, IN	00093205-01	4930	G394	0.00	4027.25
053443	4125	SOFTWARE MAINTEN	14715	SUPERION, LLC	00094296-01	2800007	G394	0.00	11696.06
053443	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00	19.00
053443	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00	19.00
053443	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394		0.00	19.00
053443	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		75949900007	G394	0.00	121.46
053443	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		30453010008	G394	0.00	44.45
053443	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		95402863377	G394	0.00	52.84
053443	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		39388900001	G394	0.00	40.54
053443	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		75591010006	G394	0.00	39.00
053443	4204	ELECTRIC	11805	CONSTELLATION NEWENER		699 SHINGLE	G394	0.00	117.94
053443	4225	OTHER CONTRACTUA	14400	7 LAYER SOLUTIONS, IN		4929	G394	0.00	462.50
053443	4225	OTHER CONTRACTUA	9209	THIRD MILLENNIUM ASSO	00094292-01	25035	G394	0.00	680.75
053443	4235	WASTEWATER TREAT	15061	WCWWA	00094261-01	062020	G394	0.00	209193.56
053443	4400	VEHICLE REPAIR	13908	RUSH TRUCK CENTERS OF	00094169-04	3019693308	G394	0.00	994.68
053443	4400	VEHICLE REPAIR	3714	POMP'S TIRE SERVICE,		640081056	G394	0.00	219.75
053443	4501	POSTAL METER REN	2487	PITNEY BOWES	00093528-01	3104065048	G394	0.00	344.00
053443	4600	COMPUTER/OFFICE	12617	ACCURATE OFFICE SUPPL		JUNE CHARGESG394		0.00	135.02
053443	4603	PARTS FOR VEHICL	13555	JX ENTERPRISES, INC	00094158-04	2595516P	G394	0.00	-179.96
053443	4603	PARTS FOR VEHICL	13555	JX ENTERPRISES, INC	00094158-06	2595518P	G394	0.00	-42.36
053443	4603	PARTS FOR VEHICL	13555	JX ENTERPRISES, INC	00094158-07	2594434P	G394	0.00	-40.99
053443	4603	PARTS FOR VEHICL	4095	STANDARD EQUIPMENT CO	00094249-01	P22601	G394	0.00	495.55
053443	4603	PARTS FOR VEHICL	4095	STANDARD EQUIPMENT CO	00094249-02	P22720	G394	0.00	495.55
053443	4603	PARTS FOR VEHICL	4095	STANDARD EQUIPMENT CO	00094249-03	P22602	G394	0.00	-427.18
053443	4603	PARTS FOR VEHICL	6601	MENARDS		JUNE CHARGESG394		0.00	49.88
053443	4630	PARTS-LIFT STATI	14939	BATTERIES PLUS BULBS	00094242-01	P28404895	G394	0.00	83.85
053443	4630	PARTS-LIFT STATI	2013	GRAINGER	00094167-01	95854235086	G394	0.00	780.00
053443	4630	PARTS-LIFT STATI	2013	GRAINGER	00094167-02	9556454586	G394	0.00	879.86
053443	4630	PARTS-LIFT STATI	2263	METROPOLITAN PUMP COM	00094236-01	INV018405	G394	0.00	374.03
053443	4630	PARTS-LIFT STATI	244	MURPHY ACE HARDWARE 2		JUNE CHARGESG394		0.00	87.24
053443	4630	PARTS-LIFT STATI	2810	CORE & MAIN, LP		M583505	G394	0.00	-170.00
053443	4630	PARTS-LIFT STATI	2810	CORE & MAIN, LP	00094202-02	M547424	G394	0.00	905.54
053443	4630	PARTS-LIFT STATI	4406	U.S.A. BLUEBOOK		279703	G394	0.00	74.79
053443	4630	PARTS-LIFT STATI	6601	MENARDS		JUNE CHARGESG394		0.00	694.29
053443	4639	PARTS-MAINS	244	MURPHY ACE HARDWARE 2		JUNE CHARGESG394		0.00	70.15
053443	4639	PARTS-MAINS	4406	U.S.A. BLUEBOOK		282458	G394	0.00	44.74
053443	4639	PARTS-MAINS	4406	U.S.A. BLUEBOOK		282375	G394	0.00	161.88
053443	4639	PARTS-MAINS	4823	WATER PRODUCTS AURORA	00094200-01	0296233	G394	0.00	770.38
053443	4650	MISCELLANEOUS CO	14928	AIR ONE EQUIPMENT, IN	00094257-01	158094	G394	0.00	26.00
053443	4650	MISCELLANEOUS CO	2013	GRAINGER	00094247-01	9576645940	G394	0.00	323.88
053443	4650	MISCELLANEOUS CO	6601	MENARDS		JUNE CHARGESG394		0.00	304.57
TOTAL SEWER-SANITARY COLLECTION							0.00	234027.66	
TOTAL FUND							0.00	234027.66	

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FUND - 06 - WATER FUND

DEPT-DIV	ACCOUNT	TITLE	VENDOR	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT	
063447	4100	LEGAL FEES	12853	GOLDSTINE, SKRODZKI,	00094266-01	152083	G394	0.00	39.17
063447	4100	LEGAL FEES	7994	BOND, DICKSON & ASSOC	00094265-01	JUNE 2020	G394	0.00	1800.00
063447	4105	CONSULTANTS	14400	7 LAYER SOLUTIONS, IN	00093205-01	4930	G394	0.00	4027.25
063447	4110	TRAINING & TUITI	15272	BARTELS, KYLE	00094251-01	REIB CDL	G394	0.00	60.00
063447	4125	SOFTWARE MAINTEN	14715	SUPERION, LLC	00094296-01	2800007	G394	0.00	8295.41
063447	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394	G394	0.00	19.01
063447	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394	G394	0.00	19.01
063447	4202	TELEPHONE & ALAR	4207	VERIZON WIRELESS		585040673-00G394	G394	0.00	19.01
063447	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		1465690009	G394	0.00	38.49
063447	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		61021010006	G394	0.00	38.49
063447	4207	LAB SERVICES	1762	SUBURBAN LABORATORIES	00094239-01	177830	G394	0.00	428.50
063447	4225	OTHER CONTRACTUA	14400	7 LAYER SOLUTIONS, IN		4929	G394	0.00	462.50
063447	4225	OTHER CONTRACTUA	9209	THIRD MILLENNIUM ASSO	00094292-01	25035	G394	0.00	680.75
063447	4401	BUILDING REPAIR	15169	DEPENDABLE FIRE EQUIP	00094246-01	12126	G394	0.00	62.35
063447	4501	POSTAL METER REN	2487	PITNEY BOWES	00093528-01	3104065048	G394	0.00	344.00
063447	4600	COMPUTER/OFFICE	12617	ACCURATE OFFICE SUPPL		JUNE CHARGESG394	G394	0.00	134.87
063447	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094169-01	3019605583	G394	0.00	27.06
063447	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094169-02	3019612563	G394	0.00	6.91
063447	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094169-03	3019649595	G394	0.00	653.91
063447	4603	PARTS FOR VEHICL	13908	RUSH TRUCK CENTERS OF	00094169-05	3019715579	G394	0.00	380.70
063447	4603	PARTS FOR VEHICL	14940	WAYTEK, INC	00094254-01	3001623	G394	0.00	168.67
063447	4603	PARTS FOR VEHICL	4735	NAPA AUTO PARTS		4496-105330	G394	0.00	6.61
063447	4615	UNIFORMS/SAFETY	2013	GRAINGER		9579240012	G394	0.00	259.60
063447	4615	UNIFORMS/SAFETY	2013	GRAINGER	00094247-01	9576645940	G394	0.00	323.88
063447	4621	PARTS & EQUIPMEN	2013	GRAINGER		9577578231	G394	0.00	118.48
063447	4621	PARTS & EQUIPMEN	2810	CORE & MAIN, LP		M577602	G394	0.00	246.50
063447	4621	PARTS & EQUIPMEN	2810	CORE & MAIN, LP	00094202-01	M546365	G394	0.00	675.00
063447	4621	PARTS & EQUIPMEN	2810	CORE & MAIN, LP	00094248-01	M547541	G394	0.00	900.42
063447	4621	PARTS & EQUIPMEN	2810	CORE & MAIN, LP	00094248-02	M584475	G394	0.00	403.42
063447	4621	PARTS & EQUIPMEN	6601	MENARDS		JUNE CHARGESG394	G394	0.00	184.14
063447	4650	MISCELLANEOUS CO	14928	AIR ONE EQUIPMENT, IN	00094257-01	158094	G394	0.00	26.00
063447	4650	MISCELLANEOUS CO	244	MURPHY ACE HARDWARE 2		JUNE CHARGESG394	G394	0.00	71.58
063447	4650	MISCELLANEOUS CO	6601	MENARDS		JUNE CHARGESG394	G394	0.00	18.11
TOTAL WATER-PRODUCTION/DIST							0.00	20939.80	
063448	4203	HEATING GAS	250	NORTHERN ILLINOIS GAS		92163563122	G394	0.00	127.86
063448	4225	OTHER CONTRACTUA	12380	CINTAS CORPORATION	00093082-01	4054722066	G394	0.00	15.05
063448	4430	WTP OPERATIONS R	12964	FACTORY CLEANING EQUI	00094238-01	132634	G394	0.00	416.50
063448	4430	WTP OPERATIONS R	3491	FLOLO CORPORATION	00094233-01	099824	G394	0.00	330.00
063448	4600	COMPUTER/OFFICE	12617	ACCURATE OFFICE SUPPL		JUNE CHARGESG394	G394	0.00	25.81
063448	4604	TOOLS & EQUIPMEN	6601	MENARDS		JUNE CHARGESG394	G394	0.00	99.00
063448	4615	UNIFORMS/SAFETY	11134	JUST SAFETY, LTD.		34775	G394	0.00	70.50
063448	4624	PARTS-BUILDING R	2013	GRAINGER	00094167-03	9561415150	G394	0.00	394.00
063448	4624	PARTS-BUILDING R	2013	GRAINGER	00094167-04	9561415158	G394	0.00	394.00
063448	4625	LAB SUPPLIES	11177	WILKENS ANDERSON CO.	00094189-01	S1190824.001G394	G394	0.00	261.31
063448	4626	CHEMICALS	10925	MISSISSIPPI LIME COMP	00093076-01	1495758	G394	0.00	4971.08
063448	4626	CHEMICALS	10925	MISSISSIPPI LIME COMP	00093076-01	1497085	G394	0.00	4941.45
063448	4626	CHEMICALS	1914	ALEXANDER CHEMICAL CO	00093079-01	26559	G394	0.00	3142.40

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FUND - 06 - WATER FUND

DEPT-DIV	ACCOUNT	-----TITLE-----	-----VENDOR-----	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
063448	4650	MISCELLANEOUS CO	6601	MENARDS	JUNE CHARGES	SG394	0.00	30.60
TOTAL WATER-TREATMENT PLANT OP							0.00	15219.56
TOTAL FUND							0.00	36159.36

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FUND - 08 - CAPITAL PROJECTS FUND

DEPT-DIV	ACCOUNT	-----TITLE-----	-----VENDOR-----	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT	
083453	4100	LEGAL FEES	7994	BOND, DICKSON & ASSOC	00094265-01	JUNE 2020	G394	0.00	166.00
083453	4225	OTHER CONTRACTUA	12102	THOMAS ENGINEERING GR	00093081-01	20/188	G394	0.00	86377.77
083453	4412	MATERIALS	11333	GRAYBAR ELECTRIC CO.,	00094194-01	9316495779	G394	0.00	403.60
083453	4412	MATERIALS	11480	PJD ELECTRICAL SALES,	00093660-01	29061	G394	0.00	5367.00
083453	4412	MATERIALS	231	MC MASTER-CARR SUPPLY	00094201-01	41512527	G394	0.00	304.65
083453	4643	STORM SEWER REPA	11115	WELCH BROTHERS, INC.		3092368	G394	0.00	296.30
083453	4643	STORM SEWER REPA	6601	MENARDS		JUNE CHARGESG	G394	0.00	56.30
083453	4672	BIT PATCH-HOT	12722	ALLIED ASPHALT PAVING	00093754-01	229545	G394	0.00	299.22
083453	4801	BUILDING/GROUNDS	6601	MENARDS		JUNE CHARGESG	G394	0.00	259.90
083453	4801	BUILDING/GROUNDS	6601	MENARDS	00094084-01	06319	G394	0.00	1548.70
083453	4801	BUILDING/GROUNDS	6601	MENARDS	00094164-01	07624	G394	0.00	459.25
083453	4801	BUILDING/GROUNDS	6601	MENARDS	00094164-02	07629	G394	0.00	-399.85
083453	4817	SALT STORAGE FAC	8746	CHRISTOPHER B BURKE E	00093168-01	159507	G394	0.00	721.50
083453	4872	ROW MATERIALS	3349	TRAFFIC CONTROL AND P		103937	G394	0.00	185.85
083453	4872	ROW MATERIALS	3349	TRAFFIC CONTROL AND P		104445	G394	0.00	100.60
083453	4872	ROW MATERIALS	3349	TRAFFIC CONTROL AND P		104446	G394	0.00	294.90
083453	4872	ROW MATERIALS	3349	TRAFFIC CONTROL AND P		104447	G394	0.00	98.30
083453	4872	ROW MATERIALS	3349	TRAFFIC CONTROL AND P		104448	G394	0.00	294.90
083453	4872	ROW MATERIALS	3349	TRAFFIC CONTROL AND P		104449	G394	0.00	294.90
TOTAL CAPITAL PROJECTS							0.00	97129.79	
TOTAL FUND							0.00	97129.79	



PENTAMATION - FINANCIAL MANAGEMENT SYSTEM  
DATE: 07/16/20  
TIME: 15:42:50

CITY OF WEST CHICAGO  
CASH REQUIREMENTS BILL LIST

PAGE NUMBER: 11  
ACCTPAY1  
ACCOUNTING PERIOD: 7/20

SELECTION CRITERIA: payable.due\_date='20200720 00:00:00.000'  
PAYMENT TYPE: ALL

FUND - 09 - DOWNTOWN TIF SPEC PROJ

DEPT-DIV	ACCOUNT	-----TITLE-----	-----VENDOR-----	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
093454	4100	LEGAL FEES	7994	BOND, DICKSON & ASSOC	00094265-01 JUNE 2020	G394	0.00	40.00
093454	4225	OTHER CONTRACTUA	13590	PHALEN CONSULTING, IN	00094284-01 89	G394	0.00	3675.00
093454	4815	STREETSCAPE PROG	12241	HEINZ BROTHERS GREENH	00094263-01 222580002	G394	0.00	1560.00
093454	4815	STREETSCAPE PROG	244	MURPHY ACE HARDWARE 2	JUNE CHARGESG394		0.00	75.17
TOTAL DOWNTOWN TIF							0.00	5350.17
TOTAL FUND							0.00	5350.17

PENTAMATION - FINANCIAL MANAGEMENT SYSTEM  
DATE: 07/16/20  
TIME: 15:42:50

CITY OF WEST CHICAGO  
CASH REQUIREMENTS BILL LIST

PAGE NUMBER: 12  
ACCTPAY1  
ACCOUNTING PERIOD: 7/20

SELECTION CRITERIA: payable.due\_date='20200720 00:00:00.000'  
PAYMENT TYPE: ALL

FUND - 43 - COMMUTER PARKING FUND

DEPT-DIV	ACCOUNT	-----TITLE-----	-----VENDOR-----	P.O.'S	INVOICE	BATCH	SALES TAX	AMOUNT
433476	4650	MISCELLANEOUS CO 244	MURPHY ACE HARDWARE 2		JUNE CHARGES	SG394	0.00	62.35
TOTAL COMMUTER PARKING FUND							0.00	62.35
TOTAL FUND							0.00	62.35
TOTAL CHECK TRANSACTIONS							0.00	385767.91
TOTAL EFT TRANSACTIONS							0.00	209193.56
TOTAL REPORT							0.00	594961.47



## CITY OF WEST CHICAGO

### DEVELOPMENT COMMITTEE AGENDA ITEM SUMMARY

**ITEM TITLE:**

Final Plat of Subdivision – Phase One  
Trillium Farms Subdivision  
Pulte Home Company LLC  
  
Resolution No. 20-R-0037

**AGENDA ITEM NUMBER:** 8.A.**FILE NUMBER:** \_\_\_\_\_**COMMITTEE AGENDA DATE:** July 13, 2020**COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Tom Dabareiner, AICP**SIGNATURE** **APPROVED BY CITY ADMINISTRATOR:** Michael Guttman**SIGNATURE** \_\_\_\_\_**ITEM SUMMARY:**

Pulte Home Company, LLC is the contract purchaser of the former Planter's Palette nursery. Pulte is proposing to develop the property in three phases as a planned unit development for an eighty-four (84) unit single-family residential subdivision in unincorporated DuPage County. The first phase would consist of 19 homes.

The property is located within 1.5 miles of the corporate limits of the City of West Chicago and the Final Plat of Subdivision is therefore subject to review and approval by the City as well. The City approved the Preliminary Plat with a deviation on October 21, 2019 and a Final Plat for the full 84-unit development on June 15, 2020. DuPage County approved the Preliminary Plat, as well as the conditional use permit for the development, on February 25, 2020. DuPage County approved the Final Plat of Subdivision on March 20, 2020.

The Phase One Final Plat includes the previously approved deviation from the Subdivision Code to allow a minimum radius of curvature on a minor street centerline to be as little as ninety (90) feet in lieu of the minimum required 250 feet.

At its July 7, 2020 meeting, the Plan Commission/Zoning Board of Appeals (PC/ZBA) conducted a public hearing to consider the proposed Phase One Final Plat. Members voted unanimously in favor (5-0) of recommending the Final Plat.

**ACTION PROPOSED:**

Consideration of the proposed Phase One Final Plat.

**COMMITTEE RECOMMENDATION:**

At the Development Committee meeting, members voted unanimously (7-0) in favor of recommending the Phase One Final Plat for approval by City Council.

Attachments:  
Draft Resolution



## CITY OF WEST CHICAGO

### DEVELOPMENT COMMITTEE AGENDA ITEM SUMMARY

**ITEM TITLE:**

Amendment to Bishop Place PUD  
NWC Roosevelt at Bishop  
D&G Property Development, LLC

Ordinance No. 20-O-0013

**AGENDA ITEM NUMBER:** 8.B.

**FILE NUMBER:** \_\_\_\_\_

**COMMITTEE AGENDA DATE:** July 13, 2020

**COUNCIL AGENDA DATE:** July 20, 2020

**STAFF REVIEW:** Tom Dabareiner, AICP

**SIGNATURE** 

**APPROVED BY CITY ADMINISTRATOR:** Michael Guttman **SIGNATURE** \_\_\_\_\_

**ITEM SUMMARY:**

D&G Property Development, LLC requests an amendment to the Bishop Place PUD (Ordinance 05-O-0039) to remove the condition that requires construction and completion of a second commercial building within the development before development of the remaining vacant residential lots. There are two residential lots remaining and D&G owns both, which they seek to sell for single-family home development. D&G has no ownership interest in the remaining commercial lot, which will be challenging to build under any scenario due to market and layout considerations. D&G is not the original owner of these properties.

The 12 residential lots are zoned R-5 and the commercial lots are zoned B-2. No changes in zoning are proposed, nor recommended. Residential Lots 3 and 6 are the properties owned by D&G. See the attached aerial photo. Lots 3 and 6 are the properties without homes built on them.

The amendment would merely strike the language for Condition #5 and renumber Condition 6 to make it 5. The two changes follow:

~~"5. No more than eight (8) single family residence building permits shall be issued until a temporary or final certificate of occupancy is issued for Commercial Building B.~~

65. A temporary or final certificate of occupancy shall be secured for Commercial Building A within three (3) years of approval of the final PUD."

Members of the Planning Commission/ZBA voted unanimously (5-0) in favor of the amendment to the PUD at their meeting held July 7, 2020.

**ACTION PROPOSED:**

Consideration of the Amendment to the PUD.

**COMMITTEE RECOMMENDATION:**

Members of the Development Committee voted unanimously (7-0) in favor of recommending to the City Council the proposed amendment to the PUD.



**ATTACHMENTS:**

Ordinance

Aerial photo

## CITY OF WEST CHICAGO

### INFRASTRUCTURE COMMITTEE AGENDA ITEM SUMMARY

**ITEM TITLE:**

Resolution No. 20-R-0030 – Contract Award – Boller Construction Company for the Digester #1 Improvements Project

**AGENDA ITEM NUMBER:** 8.C.**FILE NUMBER:** \_\_\_\_\_**COMMITTEE AGENDA DATE:** July 2, 2020**COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Robert E. Flatter, P.E., Director of Public Works**SIGNATURE** **APPROVED BY CITY ADMINISTRATOR:** Michael L. Guttman**SIGNATURE** \_\_\_\_\_**ITEM SUMMARY:**

Under permit from the EPA, the West Chicago/Winfield Regional Wastewater Treatment Plant has three digesters to manage incoming flows and solid loadings at the WWTP. The first two anaerobic digesters (i.e., #1 and #2) are considered the primary digesters and are used to heat and mix the waste solid (sludge) during the digestion process before it is dewatered, using belt filter presses, and taken to a landfill. Digester #3 is not heated or mixed and is used as a secondary digester and storage. The primary digesters each have three heater-mixer guns with a total heating capacity of 2,100,000 BTU and mixing capacity of 11,400 gpm. Detention time in the primary digesters is 30 days.

In 2010, Digester #3 was cleaned and inspected; no issues were observed at that time. In 2012, all internal digestion system equipment and components, including all gas safety equipment, within Digester #2 were contractually replaced. Once repairs were completed within Digester #2, the anaerobically digested sludge was transferred from Digester #1 into Digester #2, and the interior of Digester #1 was cleaned. Once cleaned, all internal digestion system equipment and components, including all gas safety equipment, were inspected and found to be in poor condition and in need of replacement. Digester #1 was then filled with water and has been out of service since 2012. The internal digestion system equipment and components are approximately thirty-four (34) years old and have out performed their useful life, which is typically 15-20 years.

Being very familiar with the City's Wastewater Treatment Plant and its digestion treatment process, the City hired Clark Dietz, Inc. (CDI) to perform Phase II engineering design services and prepare bidding documents for the necessary improvements/upgrades to Digester #1, and to provide assistance during the bidding process. With engineering plans, specifications, and bid documents finalized, the request for bids was advertised in the Daily Herald on February 25, 2020. All bid documents and plans were made available electronically to interested parties via Quest Construction Data Network. Bids were opened June 16, 2020. The City received six (6) bids with Boller Construction Company, Inc. of Waukegan, Illinois, submitting the lowest responsible bidder at \$638,900.00. The second lowest bid received was for \$708,490.00 from Independent Mechanical Industries, Inc. (see attached bid tabulation sheet for additional clarification). The engineer's estimate for this project was \$1,200,000.00.

The Digester #1 Improvements Project will be paid for by the West Chicago/Winfield Wastewater Authority in which \$1,200,000.00 has been budgeted.

Boller Construction Company, Inc. previously completed work associated with the City's Digester #2

## CITY OF WEST CHICAGO

Improvement Project at a cost of \$781,000.00; its performance was satisfactory. CDI reports that they have had positive experiences with Boller as a contractor, stating that they have demonstrated adequate experience with comparably sized work. Therefore, it is staff's recommendation that a contract be awarded to Boller Construction Company Inc. of Waukegan, Illinois, for the Digester #1 Improvements Project, in an amount not to exceed \$638,900.00.

### **ACTIONS PROPOSED:**

Approve Resolution No. 20-R-0030 authorizing the Mayor to execute a contract with the lowest responsible bidder, Boller Construction Company, Inc., for an amount not to exceed \$638,900.00, for service related to the Digester #1 Improvements Project.

The Infrastructure Committee voted 4-0 for approval.



## CITY OF WEST CHICAGO

### INFRASTRUCTURE COMMITTEE AGENDA ITEM SUMMARY

**ITEM TITLE:**

Resolution No. 20-R-0032 – Professional Engineering Services Agreement - Donohue & Associates, Inc. for SCADA Integration Services Associated with the Digester #1 Improvements Project

**AGENDA ITEM NUMBER:** 8.D.**COMMITTEE AGENDA DATE:** July 2, 2020**COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Robert E. Flatter, P.E., Director of Public Works**SIGNATURE** **APPROVED BY CITY ADMINISTRATOR:** Michael L. Guttman**SIGNATURE** \_\_\_\_\_**ITEM SUMMARY:**

The 2018 Waste Water Treatment Plant SCADA System Improvement Project, which was completed by Donohue & Associates, Inc. (Donohue) as a design-build project, consisted of furnishing all parts, labor, materials, equipment and engineering services necessary to upgrade the Supervisory Control and Data Acquisition (SCADA) system (i.e., process control network, Programmable Logic Controller (PLC) hardware, communication equipment, security equipment, etc.) at the City's Waste Water Treatment Plant (WWTP) with a more reliable, non-proprietary industry standard control system. SCADA is a computer controlled system that monitors and controls the operations of the WWTP's pumps and equipment, and is used to monitor sanitary waste flows in and out of the WWTP.

Under separate contract award, Boller Construction Company, Inc. will soon commence on the Digester #1 Improvements Project. Once improvements are substantially complete, Digester #1 will need to be integrated into the WWTP's SCADA system. Being most familiar with the SCADA system at the WWTP, staff sought and obtained a cost proposal from Donohue, for said integration services, for an amount not to exceed \$53,105.00.

Services to be provided by Donohue are summarized below:

- Provide modifications to the existing Digester Control Panel to incorporate the Digester #1 Improvements provided by Boller Construction Company; and,
- Provide PLC programming modifications, Panelview OIT modifications, and SCADA modifications; and,
- Provide Startup Services, testing, and training; and,
- Provide copies of Training Program to be used in Operations Training; and,
- Provide electronic modifiable control panel drawings; and,
- Provide electronic copies of all PLC, OIT, and SCADA applications.

Staff recommends that City Council approve a Professional Engineering Services Agreement with Donohue & Associates, Inc., for an amount not to exceed \$53,105.00, for SCADA Integration Services associated with Digester #1 Improvements Project.

Donohue's services will be paid for by the West Chicago/Winfield Wastewater Authority where adequate funds are budgeted to cover services related to the Digester #1 Improvements Project.

## CITY OF WEST CHICAGO

**ACTIONS PROPOSED:**

Approve Resolution No. 20-R-0032 authorizing the Mayor to execute a Professional Engineering Services Agreement with Donohue & Associates, Inc., for an amount not to exceed \$53,105.00, for SCADA Integration Services associated with the Digester #1 Improvements Project.

**COMMITTEE RECOMMENDATION:**

The Infrastructure Committee voted 4-0 for approval.



## CITY OF WEST CHICAGO

### INFRASTRUCTURE COMMITTEE AGENDA ITEM SUMMARY

**ITEM TITLE:**

Ordinance No. 20-O-0012 – Authorizing the Disposal of Surplus Equipment, Stock Inventory, and/or Personal Property Owned By the City Of West Chicago

**AGENDA ITEM NUMBER:** 8.E.**COMMITTEE AGENDA DATE:** July 2, 2020**COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Robert E. Flatter, P.E., Public Works Director**SIGNATURE** **APPROVED BY CITY ADMINISTRATOR:** Michael L. Guttman**SIGNATURE** \_\_\_\_\_**ITEM SUMMARY:**

City staff has identified surplus equipment, stock inventory, and/or personal property that has no useful life and is no longer useful to the City, has little or no salvage value, and should be properly disposed of (please refer to Ordinance No. 20-O-0012 and Attachment A for additional information).

Therefore, staff is requesting that these items be declared surplus so that they may be traded in, disposed of through auction, disposed of through the City's contractual waste hauler, recycled, or sold to a local scrap dealer for scrap value; in a manner deemed appropriate by the City Administrator, with or without consideration.

**ACTIONS PROPOSED:**

Adopt Ordinance No. 20-O-0012 for the disposal or sale of surplus equipment, stock inventory, and/or personal property owned by the City of West Chicago.

**COMMITTEE RECOMMENDATION:**

The Infrastructure Committee voted 4-0 for approval.



## CITY OF WEST CHICAGO

### INFRASTRUCTURE COMMITTEE AGENDA ITEM SUMMARY

**ITEM TITLE:**

Purchase of Rock Salt from Compass Minerals America, Inc., Overland Park, Kansas, for the 2019-2020 Winter Season – Change Order No. 1 and Final

**AGENDA ITEM NUMBER:** 8.F.**COMMITTEE AGENDA DATE:** July 2, 2020**COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Robert E. Flatter, P.E., Director of Public Works**SIGNATURE** **APPROVED BY CITY ADMINISTRATOR:** Michael L. Guttman**SIGNATURE** \_\_\_\_\_**ITEM SUMMARY:**

On Monday, May 20, 2019, City Council authorized the purchase of up to 4,600 tons of rock salt, at the price of \$82.96 per ton delivered, from Compass Minerals America, Inc. of Overland Park, Kansas under the DuPage County Rock Salt Joint Purchasing Program for the 2019-2020 winter season.

Deliveries were hauled/received via semi-truck(s). Loads range from 19 to 26 tons per truck, with an average truck hauling approximately 22 tons. Despite ordering only 4,600 tons, actual deliveries received for the 2019-2020 winter season totaled 4,655.75 tons. The 55.75 ton overage results in the need for City Council approval of Change Order No. 1 and Final in the amount of \$4,625.02.

**ACTIONS PROPOSED:**

Approve Change Order No. 1 and Final authorizing the additional purchase of 55.75 tons of rock salt, at the price of \$82.96 per ton delivered, from Compass Minerals America, Inc. of Overland Park, Kansas under the DuPage County Rock Salt Joint Purchasing Program for the 2019-2020 winter season; resulting in a total approved purchase quantity of 4,655.75 tons.

**COMMITTEE RECOMMENDATION:**

The Infrastructure Committee voted 4-0 for approval.

## CITY OF WEST CHICAGO

### CITY COUNCIL AGENDA ITEM SUMMARY

**ITEM TITLE:**

Resolution No. 20-R-0042 – IGA with DuPage County –  
Local Government COVID-19 Reimbursement Program

**AGENDA ITEM NUMBER:** 8.G.

**FILE NUMBER:** \_\_\_\_\_

**COMMITTEE AGENDA DATE:** N/A  
**COUNCIL AGENDA DATE:** July 20, 2020

**STAFF REVIEW:**

**SIGNATURE** \_\_\_\_\_

**APPROVED BY CITY ADMINISTRATOR:**

**SIGNATURE** \_\_\_\_\_

**ITEM SUMMARY:**

Attached is an Intergovernmental Agreement with DuPage County to participate in the Local Government COVID-19 Reimbursement Program, which would provide West Chicago with up to \$1.3 million.

**STAFF RECOMMENDATION:**

Staff recommends approval of Resolution No. 20-R-0042.

**COMMITTEE RECOMMENDATION:**

This item did not go to Committee because no changes may be made as all DuPage County municipalities are executing the same Agreement.



**RESOLUTION NO. 20-R-0042**

A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF WEST CHICAGO AND DUPAGE COUNTY FOR PARTICIPATION IN THE DUPAGE COUNTY LOCAL GOVERNMENT COVID-19 REIMBURSEMENT PROGRAM

BE IT RESOLVED by the City Council of the City of West Chicago, in regular session assembled, that the Mayor is hereby authorized to execute an Intergovernmental Agreement Between the City of West Chicago and County of DuPage for Participation in the DuPage County Local Government COVID-19 Reimbursement Program, a copy of which, in substantially the same form, is attached hereto and incorporated herein as Exhibit "A".

APPROVED this 20<sup>th</sup> day of July, 2020

AYES: \_\_\_\_\_

NAYES: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith

**INTERGOVERNMENTAL AGREEMENT FOR PARTICIPATION IN DUPAGE COUNTY  
LOCAL GOVERNMENT COVID-19 REIMBURSEMENT PROGRAM.**

THIS AGREEMENT is made and entered into on this 14th day of July, 2020 by and between the County of DuPage, a body politic and corporate, hereinafter referred to as "COUNTY" and the municipality of West Chicago, an unit of municipal government, hereinafter referred to as "MUNICIPALITY", and collectively referred to as "the Parties".

**RECITALS**

WHEREAS, the Illinois Constitution and the Intergovernmental Cooperation Act (5 ILCS 220/ et. seq) authorize units of local government, including counties and municipalities, to contract or otherwise associate among themselves in any manner not prohibited by law and to jointly exercise any power, privilege or authority conferred upon them by law; and

WHEREAS, Article 7, Section 10 of the Illinois Constitution of 1971 and the Illinois Intergovernmental Cooperation Act 5 ILCS 220/1 et seq. allow units of public entities to enter into intergovernmental agreements in the furtherance of their governmental purposes; and

WHEREAS, the County of DuPage received approximately one hundred sixty-one million dollars (\$161,000,000) from the United States Government pursuant to the Coronavirus Aid, Relief, and Economic Security Act ("CARES Act"); and

WHEREAS, the CARES Act provides for payments to local governments navigating the impact of the COVID-19 outbreak via the Coronavirus Relief Fund; and

WHEREAS, the CARES Act provides that payments from the Coronavirus Relief Fund may only be used to cover expenses which: (1) are necessary expenditures incurred due to the public health emergency with respect to the Coronavirus Disease 2019 (COVID-19); (2) were not accounted for in the budget most recently approved as of March 27, 2020 (the date of enactment of the CARES Act) for the local government; and (3) were incurred during the period that begins on March 1, 2020 and ends on December 30, 2020; and



WHEREAS, the County of DuPage was eligible to receive payments under the CARES Act, as it is a unit of local government in excess of 500,000 residents: and

WHEREAS, the United States Department of Treasury has issued guidelines with regards to the authorized use of funds allocated to local governments under the CARES Act; and

WHEREAS, neither the CARES Act, the United States Department of Treasury, nor state law, requires that the County disburse any funds to local municipalities within its geographic boundaries; and

WHEREAS, under the CARES Act, the County is ultimately responsible for any expenditures from CARES Act funds; and

WHEREAS, much uncertainty remains regarding future costs the County and local municipalities will be forced to bear related to the coronavirus emergency, and

WHEREAS, much uncertainty exists as to the potential for future allocations of federal or state monies to defray those future costs, and

WHEREAS, this agreement is intended to promote the most efficient distribution of resources which have been made available to the State of Illinois and the County of DuPage to benefit the citizens of DuPage County, and

WHEREAS, under the CARES Act, should the Office of the Inspector General determine that the funds were used in a manner contrary to the intent of the legislature or contrary to the United States' Department of Treasury guidelines, the CARES ACT provides that the federal government may recoup the improperly spent funds from the County; and

WHEREAS, the County, those municipalities within DuPage County, and their residents, have suffered secondary effects of the coronavirus emergency, as the State of Illinois has ordered the closure of non-essential businesses; and

WHEREAS, the County of DuPage, as the jurisdiction responsible for disbursement of funds under the CARES Act, finds that it is appropriate to use these funds to defray certain costs incurred by the Municipality related to the coronavirus emergency; and

WHEREAS, the disbursement of funds under the CARES Act to the Municipality is in the best interests of the County, the Municipality and their residents.

NOW, THEREFORE, in consideration of the mutual covenants and Agreements contained herein, the Parties hereby agree as follows:

**1.0 Recitals, Definitions, and Purpose.**

**1.1 Recitals Incorporated.** The recitals set forth above are incorporated in this Agreement by reference and made a part of this Intergovernmental Agreement ("IGA").

**1.2 Definitions.**

- A. "CARES Act funds"** shall refer to funds which have been allocated to DuPage County under the Coronavirus Aid, Relief, and Economic Security Act ("CARES Act") of which DuPage County is responsible for the disposition.
- B. "Forms"** shall refer to forms or application documents used to seek reimbursement of coronavirus related expenses under this agreement.
- C. "Expenses"** shall refer to the cost of tangible goods and services which (1) were necessary expenditures incurred due to the public health emergency with respect to the Coronavirus Disease 2019 (COVID-19); (2) were not accounted for in the budget most recently approved as of March 27, 2020 (the date of enactment of the CARES Act) for the local government; and (3) were incurred during the period that begins on March 1, 2020 and ends on December 30, 2020. Examples of "Tangible Goods" would include, but are not limited to, personal protection and medical equipment, sanitation and disinfectant products, software, laptops and technology equipment necessary for employees to telecommute. "Services" as used in this definition means actions or intangible things which were performed by individuals who are not municipal employees. Further, "Expenses" shall include payroll costs for municipal employees where such employees time was substantially dedicated to mitigating the spread or responding to the public health emergency and/or who have been reassigned



from their budgeted role to a different function to substantially support COVID-19 related activities. "Expenses" shall not include the complete payroll costs for employees who are not substantially dedicated to the mitigation or response to the public health emergency, except as set forth in 5.1 of this Agreement. Expenses may also include economic development programs designed to support and defray the costs of local businesses (within the geographic boundaries of DuPage County) negatively impacted by the executive orders which required such businesses be closed or have their operations seriously curtailed.

D. All other words used in this agreement which are not specifically defined shall have their normal and ordinary meaning.

**1.3 Purpose.** The purpose of this Agreement is to establish a contractual relationship between the County and Municipality with regards to the proposed reimbursement of municipal expenses associated with the coronavirus emergency from federal CARES Act funds which the United States Federal Government has disbursed to the County. The County has, by resolution, created the DuPage County Local Government COVID-19 Reimbursement program. This agreement shall remain in effect between the parties to govern the form of applications for reimbursement, the review of applications, the criteria for reimbursable expenses, the retention of documents, and other material terms governing the processing of reimbursement applications.

## **2.0 Obligations of the County**

**2.1 Generally.** The County, by and through its Finance Department or Third-Party Consultant hired by the County, shall process requests for reimbursement received by Municipality subject to the requirements set forth herein.

**2.2 Submittal does not guarantee approval.** The County, by receiving and processing the reimbursement requests of Municipality, does not guarantee approval of the reimbursement requests by the DuPage County Board, the DuPage County Finance Department, the United States

Department of Treasury, or the Office of the Inspector General.

**2.3 No further obligations.** The County shall have no further obligations under this IGA other than those expressly set forth.

### **3.0 Obligations of the Municipality**

**3.1 Generally.** In order to submit requests for reimbursement of coronavirus emergency related expenditures, Municipality agrees to submit the forms, certifications and documentations set forth in this IGA for any expense for which Municipality seeks reimbursement under this Agreement. Municipality agrees that the sole and exclusive decision as to whether or not Municipalities request is granted lies within the discretion of the DuPage County Board, and that submission of expenses for reimbursement does not obligate the County to agree to reimburse those expenses. Municipality agrees that the County Board, through its Finance Department or Third-Party Administrator, may reject expenses which are clearly not permitted uses for CARES ACT funds such as using the funds for revenue replacement.

### **4.0 Form of Expense Submittals, Certification, failure to use form or comply with criteria**

**4.1 Generally.** The Parties agree that expenses for which Municipality seeks reimbursement shall be submitted in a manner and on forms created by the Third Party Administrator hired by the County to process reimbursement requests. County and Third Party Administrator shall work collaboratively with Municipality and DuPage Mayors and Managers Conference to ensure that the forms and process properly balance administrative convenience to the Parties and provide sufficient information for the County Board to issue a reimbursement.

**4.2 Certification.** Each request for reimbursement shall be accompanied by a certification wherein the Mayor/President, certifies that the expenses for which Municipality seeks reimbursement: (i) are necessary expenditures incurred due to the public health emergency with response to the Coronavirus Disease 2019, (ii) which



were not accounted for in the most recently approved budget of the municipality, as of March 27, 2020, (iii) were incurred during the period between March 1, 2020 and December 30, 2020. By entering into the IGA, Municipality authorizes its Mayor or President to sign such certification on behalf of Municipality.

**4.3 Failure to comply with Department of Treasury Guidelines.** The County reserves the right to reject any reimbursement which it feels, in its sole and exclusive discretion, does not meet the criteria of the CARES Act or United States Department of Treasury guidelines associated with disbursement of funds under the CARES Act. Such rejection may be made by the DuPage County Board. This section shall not be held to restrict the County Finance Department or Third-Party Administrator from rejecting requests which clearly fail to comply with the CARES Act or with Department of Treasury guidelines.

**5.0 Expenses to be reimbursed; Caps of maximum amount of reimbursements available to Municipality; prohibition on duplicate reimbursement.**

**5.1** Municipality may submit expenses as set forth in section 1.2(c) of this Agreement. Where submitted expenses are seeking reimbursement for employee payroll, the County requires that the expenses be separated into two categories. The first category shall be employees whose time was substantially dedicated to mitigating the spread or responding to the public health emergency and/or who have been reassigned from their budgeted role to a different function to substantially support COVID-19 related activities. For purposes of this section "substantially dedicated" shall mean that sixty percent (60%) or more of the employees' time was dedicated to mitigating the spread or responding to the public health emergency related to COVID-19. Municipality may submit, and the County Board will consider, reimbursing 100% of the salary of "substantially dedicated" employees. The second category shall consist of employees whose time is not "substantially dedicated" to mitigating the spread of or responding to the COVID-19 public health emergency, but who have spent some portion of their compensated time (but

less than sixty percent (60%)) mitigating the spread of or responding to the COVID-19 Public Health Emergency. The Municipality may submit, and the County Board will consider, reimbursing payroll in the amount of the proportion of the individual employees' time spent mitigating the spread of or responding to the COVID-19 public health emergency. For example, if an employee spent twenty percent (20%) of his or her compensated time mitigating the spread of or responding to the COVID-19 public health emergency, the municipality may submit for reimbursement of twenty percent (20%) of the employees' salary during the period of time in which the employee was engaging in COVID-19 related responses.

5.2 Municipality shall not be entitled to reimbursement of expenses for which it has received reimbursement from another County, State, or federal program designed to reimburse local government for costs associated with the coronavirus emergency or other emergencies. If Municipality receives reimbursement from any program referenced above, Municipality shall refund any duplicate reimbursement to the County.

5.3 Under this program, Municipality shall receive, in aggregate, no more than fifty-one dollars and eighty-four cents (\$51.84) for each resident of the Municipality who resides within the geographic boundaries of DuPage County as set forth in Schedule 1 attached to this Agreement. This section shall not bar future additional expenditures by County for specific municipalities which may be disproportionately impacted by COVID-19 and which, in the County's sole opinion, require additional resources to respond to the COVID-19 public health emergency.

5.4 Where Municipality is located, in part, in DuPage County and in part, in other Counties, Municipality should prorate their requested expense reimbursements based upon the population of their residents which reside within DuPage County. For Example, if Municipality has sixty percent (60%) of its population in DuPage County, a municipality may seek reimbursement for sixty percent (60%) of the total cost of the expense eligible for reimbursement.



Municipality shall not pro-rate expenses which were used only to the benefit of DuPage County residents.

#### **6.0 Cooperation**

- 6.1 The County shall assist Municipality in complying with the requirements of the CARES Act and the United States Department of Treasury guidelines by preparing sample forms and providing feedback and guidance with regards to the type and quality of information required to complete such forms.
- 6.2 Municipality agrees to abide by the terms of the CARES Act and all United States Department of Treasury guidelines.
- 6.3 Municipality shall, at the County's request, supply County with all relevant information for the County to evaluate whether a request for reimbursement meets the criteria under the CARES Act and United States Department of Treasury guidelines.

#### **7.0 Records**

- 7.1 Municipality shall maintain all records relating to the expenses which Municipality seeks to have reimbursed by County from CARES Act funds for a period of at least ten (10) years or the period of time required by other state or federal law, whichever is longer.
- 7.2 At any time, DuPage County, the DuPage County Finance Department, or the DuPage County Auditor, may request that the Municipality provide records relating to the expenses which Municipality seeks to have reimbursed. Municipality agrees to provide records in response to such requests.
- 7.3 Failure to provide records may result in the denial of the reimbursement request. In circumstances where the reimbursement request has been granted and the records are needed to justify the reimbursement to the Office of the Inspector General or any other office, official, or department which may later become responsible for auditing disbursements of CARES Act funds, failure by Municipality to provide these records, for any reason including the prior destruction of these records, shall constitute a breach of this Agreement. The sole and exclusive remedy for such a breach is that Municipality shall be responsible

for repayment of any disbursement which the Office of Inspector General, or its successor, finds improper, unsupported, or unable to be verified. Additionally, Municipality agrees to indemnify the County or make the County whole for any penalty assessed against the County based upon Municipality's failure to retain or provide records.

#### **8.0 Timeliness.**

8.1 The Parties agree that time is of the essence in the processing of applications for reimbursement. The County shall use all reasonable speed and diligence in the processing of applications for reimbursement.

8.2 The Parties agree that time is of the essence in communications seeking supporting documents or requesting records under this agreement. The Parties agree that they shall use all reasonable speed and diligence in responding to requests for records or supporting documents.

#### **9.0 Indemnity.**

9.1 The Parties agree that where the County relied upon the certification of the Municipality that such expenses which Municipality sought to have reimbursed from CARES Act funds met the minimum requirements of the CARES Act, and where the Office of the Inspector General, or any other person, official, or department which is charged with the auditing and review of expenditures of CARES Act funds determines that such reimbursement was not permitted under the CARES Act, Municipality agrees to indemnify, reimburse and make whole the County for any funds which the United States Government or its agencies seeks to recoup or collect, either by litigation, or by withholding other federal funds owed to the County. Municipality further agrees to indemnify, reimburse, or make whole the County for any penalties associated with the federal government seeking to recoup the expended CARES Act funds which the County disbursed to Municipality including interest, or any penalty provided by law.

9.2 Municipality agrees to hold County harmless for any evaluation or advice which the County provided to



Municipality as to whether the requested reimbursement is a permissible use of the CARES Act funds.

**10.0 Term and termination**

**10.1 Term.** This Agreement shall remain in effect until either party provides written notice of termination to the other. Such notice shall be effective 14 days after receipt of the termination.

**10.2 Survival of Terms.** Those terms relating to the party's obligation to maintain records and provide records, and the Municipality's indemnification of the County shall survive the termination of this Agreement.

**11.0 Amendment**

**11.1** Amendments to this Agreement may be performed with the written consent of the DuPage County Board and Municipal governing board.

**12.0 Notices and duplicate copies.**

**12.1** Written notices required pursuant to this Agreement and all other correspondence between the parties shall be directed to the following and shall be deemed received when hand-delivered or three (3) days after being sent by certified mail, return receipt requested or electronic mail:

DuPage County:            Daniel J. Cronin,  
                                 DuPage County Board Chairman  
                                 421 N. County Farm Road  
                                 Wheaton, IL 60187

With a copy to:

DuPage County State's Attorney's Office  
ATTN: ASA CONOR MCCARTHY  
503 N. County Farm Road  
Wheaton, IL 60187

Municipality: Ruben Pineda  
Mayor  
475 Main Street  
West Chicago, IL 60185

With Copies to: Patrick K. Bond  
City Attorney  
Bond, Dickson & Conway  
400 Knoll St #C  
Wheaton, IL 60187

**12.2** The Parties agree that this agreement may be entered into using identical counterparts, each of which when executed and delivered to the other party shall constitute a duplicate original, but all counterparts together shall constitute a single agreement. Upon ratification by the governing board of the respective parties, the parties shall each transmit the signed counterparts of this agreement to the other using the recipients listed above in Section 12.1 of this Agreement. This agreement shall go into effect immediately upon the ratification of the last party to execute this agreement.

[Signature Page to Follow]

[THIS SPACE INTENTIONALLY LEFT BLANK]



IN WITNESS WHEREOF, the parties hereto have executed this Agreement, using duplicate counterparts, on the dates listed below.

**COUNTY OF DUPAGE:**

**CITY OF WEST CHICAGO:**

\_\_\_\_\_  
Daniel J. Cronin

\_\_\_\_\_  
Ruben Pineda

DuPage County Board Chairman

Mayor, West Chicago

Attest: \_\_\_\_\_  
Jean Kaczmarek  
DuPage County Clerk

Attest: \_\_\_\_\_  
Nancy M. Smith  
City Clerk

Date: \_\_\_\_\_

Date: \_\_\_\_\_

## CITY OF WEST CHICAGO

### CITY COUNCIL AGENDA ITEM SUMMARY

**ITEM TITLE:**

Downtown Façade Grant Program Agreement  
527 Main Street  
West Chicago Historical Society  
  
Resolution No. 20-R-0033

**AGENDA ITEM NUMBER:**8.H.**FILE NUMBER:****COMMITTEE AGENDA DATE:****COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Tom Dabareiner, AICP**SIGNATURE** \_\_\_\_\_**CITY ADMINISTRATOR REVIEW:** Michael Guttman**SIGNATURE** \_\_\_\_\_**ITEM SUMMARY:**

The West Chicago Historical Society, property owner of the building at 527 Main Street, has requested Façade Grant Program funding have painted all the trim on the Kruse House Museum, which is located on the property. The proposed work, which does not include painting of the building's stucco, is considered an eligible improvement under the Program's guidelines and complies with the City's Building and Zoning Code regulations.

The West Chicago Historical Society has submitted three estimates for the garage door replacement, as required: 1) Combined Roofing Services, LLC for \$6,875.00; 2) Phoenix Restoration for \$4,136.92; and 3) Showalter Roofing Service, Inc. for \$5,375.00. The City's contribution is 50% of the lowest estimated cost(s), which in this case is \$2,068.46.

The funding for the Program comes from the downtown T.I.F. district, if sufficient funding is available for the Program. City staff determined that there are sufficient funds available to reimburse up to \$2,068.46 to the West Chicago Historical Society for the successful completion of the aforementioned project, to include: painting of the building's trim at 527 Main Street, per the Program's guidelines.

It is staff's recommendation that funds not to exceed the amount of \$2,068.46 be awarded to the West Chicago Historical Society for the aforementioned improvements to the property at 527 Main Street to rehabilitate and repaint the trim on the Kruse House Museum.

Should the City Council determine that an award should be made in this instance, a Resolution and Grant Agreement reflecting an amount of \$2,068.46 are attached.



## CITY OF WEST CHICAGO

### **ACTIONS PROPOSED:**

Consideration of a Resolution authorizing the Mayor to execute a certain Downtown Façade Grant Program Agreement in the amount not to exceed \$2,068.46 to the West Chicago Historical Society, to rehabilitate and repaint the exterior trim on the Kruse House Museum.

Should the City Council determine that an award should be made in this instance, a Resolution and Grant Agreement reflecting an amount of \$2,068.46 are attached.

### **COMMITTEE RECOMMENDATION:**

In consultation with the Development Committee Chair, this item has been moved directly to City Council for consideration.

**RESOLUTION NO. 2020-R-0033**

**A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE  
A CERTAIN DOWNTOWN FAÇADE GRANT PROGRAM AGREEMENT –  
THE WEST CHICAGO HISTORICAL SOCIETY**

BE IT RESOLVED by the City Council of the City of West Chicago, in regular session assembled, that the Mayor is hereby authorized to execute a certain Downtown Façade Grant Program Agreement by and between the West Chicago Historical Society and the City of West Chicago, a copy of which is attached hereto and incorporated herein as Exhibit “A”.

APPROVED this 20<sup>th</sup> day of July, 2020.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith



**Exhibit A to Resolution 2020-R-0033**

**DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT**

This DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT (hereinafter referred to as the "AGREEMENT") is entered into this \_\_\_\_\_ day of July, 2020, by and between the City of West Chicago, DuPage County, Illinois, an Illinois municipal corporation (hereinafter referred to as the "CITY") and the West Chicago Historical Society, (hereinafter referred to as the "APPLICANT") (the CITY and the APPLICANT are hereinafter collectively referred to as the "PARTIES");

**WITNESSETH:**

WHEREAS, the APPLICANT is the owner of certain real property located at 527 Main Street, in West Chicago, (hereinafter referred to as the "SUBJECT REALTY") and legally described on Exhibit "A", which is attached hereto and incorporated herein; and,

WHEREAS, the SUBJECT REALTY is located within the CITY'S Downtown Redevelopment Project Area (hereinafter referred to as the "AREA"), duly established pursuant to the Tax Increment Allocation Redevelopment Act (hereinafter referred to as the "ACT"), 65 ILCS 5/11-74.4-1 et seq.; and,

WHEREAS, Chapter 4, Article V of the CITY'S Code of Ordinances establishes specific rules and regulations with respect to the alteration of historic structures in the AREA; and,

WHEREAS, Chapter 4 Article VI of the CITY'S Code of Ordinances establishes a facade program (hereinafter referred to as the "PROGRAM") whereby the CITY may make financial contributions toward the cost of certain exterior improvements with respect to commercial structures located within the AREA; and,

WHEREAS, the SUBJECT REALTY is improved with a commercial structure upon which the APPLICANT proposes to complete certain exterior improvements (hereinafter referred to as the "IMPROVEMENTS"), as detailed and depicted on the improvement plans and specifications (hereinafter referred to as the "PLANS"), which are attached hereto and incorporated herein as Exhibit "B"; and,

WHEREAS, the APPLICANT has applied, pursuant to the PROGRAM, for a financial contribution from the CITY toward the cost of the IMPROVEMENTS as detailed and depicted on the PLANS; and,

WHEREAS, the CITY has determined that it would further the achievement of the objectives of the AREA for the commercial structure located upon the SUBJECT REALTY to be improved as provided for on the PLANS and that said IMPROVEMENTS would qualify for financial contributions from the CITY pursuant to the PROGRAM; and,

WHEREAS, the CITY desires the IMPROVEMENTS be completed on the SUBJECT REALTY and agrees to financially contribute toward such IMPROVEMENTS based on the terms and conditions of this AGREEMENT and the PROGRAM; and,

WHEREAS, the APPLICANT desires to complete the IMPROVEMENTS in accordance with the terms and conditions of this AGREEMENT and the PROGRAM and desires to receive a financial contribution from the CITY for the completion of said IMPROVEMENTS.



WHEREAS, on May 26, 2020 the CITY'S Historical Preservation Commission approved Certificates of Appropriateness No. 20-08 for the IMPROVEMENTS.

NOW, THEREFORE, in consideration of the foregoing premises and in further consideration of the mutual covenants, conditions and agreements herein contained, the PARTIES hereto agree as follows:

#### ARTICLE I INCORPORATION OF RECITALS

The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Article I and the same shall continue for so long as this AGREEMENT is of force and effect.

#### ARTICLE II AUTHORITY

This AGREEMENT is made and entered into by the PARTIES pursuant to and in accordance with the provisions of the ACT.

#### ARTICLE III IMPROVEMENTS TO THE SUBJECT REALTY

The APPLICANT shall complete the IMPROVEMENTS on the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT and in full compliance with all applicable codes, ordinances, rules, regulations, permits and any conditions attached thereto, whether imposed by the CITY or any other unit of local government or any Federal, State or governmental agency having jurisdiction over the SUBJECT REALTY or any portion thereof, and shall complete the IMPROVEMENTS in a good and workmanlike manner.

The APPLICANT shall furnish, or cause to be furnished, at his own expense, all the necessary materials, labor and equipment to complete the IMPROVEMENTS in accordance with the PLANS. The IMPROVEMENTS shall be subject to inspection by, and approval of, the CITY.

The APPLICANT shall pay to the CITY all plan review, inspection and other fees, prior to the issuance of any required building permits for the IMPROVEMENTS on the SUBJECT REALTY, as required by the CITY'S Code of Ordinances.

The APPLICANT shall complete the IMPROVEMENTS within twelve (12) months of the issuance of the building permit by the CITY for such IMPROVEMENTS. If the APPLICANT fails to complete the IMPROVEMENTS within the established timeframe the CITY may rescind the financial contribution agreed upon herein in this AGREEMENT.

#### ARTICLE IV REDEVELOPMENT OF THE SUBJECT REALTY

Upon the APPLICANT'S completion of the IMPROVEMENTS on the SUBJECT REALTY as provided hereinabove, the APPLICANT shall give notice of completion to the CITY, and shall provide the CITY with all receipts, sworn contractor statements and lien waivers (hereinafter referred to as the "DOCUMENTATION") showing that all persons who have done work, or have furnished materials with respect to the IMPROVEMENTS, and might be entitled to a



lien therefore under any laws of the State of Illinois, have been paid in full for their work and are no longer entitled to such lien. The CITY shall inspect the IMPROVEMENTS as soon as practicable after receipt of the DOCUMENTATION, and if the IMPROVEMENTS are found to be in full compliance with the terms of this AGREEMENT and all applicable codes, ordinances, rules, regulations, permits and conditions as provided hereinabove, the CITY shall issue a final inspection report approving the IMPROVEMENTS. The City Council, following the issuance of said final inspection report and receipt of all of the required DOCUMENTATION, shall authorize payment of the CITY'S financial contribution toward the IMPROVEMENTS pursuant to the PROGRAM in an amount equal to the lesser of Two Thousand and Sixty Eight Dollars and Forty Six cents (\$2,068.46), or one half of the amount actually paid by the APPLICANT for the IMPROVEMENTS, as indicated on the DOCUMENTATION submitted to the CITY, whichever is less.

#### ARTICLE V TIME

Time is of the essence under this AGREEMENT and all time limits set forth herein shall be mandatory and shall not be waived except by a lawfully authorized and executed written waiver amendment to this AGREEMENT by the PARTIES excusing such timely performance.

#### ARTICLE VI AMENDMENTS

This AGREEMENT sets forth all the promises, inducements, agreements, conditions and undertakings between the APPLICANT and the CITY relative to the IMPROVEMENTS identified herein this AGREEMENT, and there shall be no promises, agreements, conditions or understandings, either oral or written, express or implied, between them, other than as herein set forth. No subsequent alteration, amendment, change or addition to this AGREEMENT shall be binding upon the PARTIES hereto unless authorized in accordance with the law and reduced in writing and signed by the PARTIES. However, whenever under the provisions of this AGREEMENT any notice or consent of the CITY or the APPLICANT is required, or the CITY or the APPLICANT is required to agree or to take some action at the request of the other, such approval or such consent of such request shall be given for the CITY, unless otherwise provided herein, by the Mayor or his designee and for the APPLICANT by the APPLICANT or any agent as the APPLICANT so authorizes.

#### ARTICLE VII NOTICES

All notices and requests required pursuant to this AGREEMENT shall be sent by certified mail as follows:

To the APPLICANT:	The West Chicago Historical Society 527 Main Street West Chicago, IL 60185
-------------------	--

To the CITY:

City of West Chicago  
475 Main Street  
West Chicago, Illinois 60185

or at such other addresses as either of the PARTIES may indicate in writing to the other either by personal delivery or by certified or registered mail, return receipt requested, with proof of delivery thereof.

ARTICLE VIII  
GOVERNING LAWS

This AGREEMENT shall be construed and enforced in accordance with the laws of the State of Illinois.

ARTICLE IX  
COUNTERPARTS

This AGREEMENT may be executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

IN WITNESS WHEREOF, the PARTIES hereto have set their hands and seals on the date first above written.

CITY OF WEST CHICAGO, an Illinois  
Municipal Corporation,

By: \_\_\_\_\_  
Mayor Ruben Pineda

ATTEST: \_\_\_\_\_  
City Clerk Nancy M. Smith

By: \_\_\_\_\_  
Anthony Wdowiarz



STATE OF ILLINOIS        )  
                                      )       SS.  
COUNTY OF DU PAGE     )

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Ruben Pineda, Mayor of the City of West Chicago, and Nancy M. Smith, City Clerk, personally known to me to be the same persons whose names are set forth on the foregoing instrument as such Mayor and City Clerk respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

STATE OF ILLINOIS       )  
                                      )  
COUNTY OF DU PAGE     )       SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Scott Reedy, personally known to me to be the same person whose name is set forth on the foregoing instrument appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public



## EXHIBIT A

### Subject Realty Legal Description

The property located at 527 Main Street on the west 174 feet of the east 695.38 feet of the south 347.5 feet of the North east Quarter of the Northwest Quarter of Section 10, Township 39 North, Range 9, of the Third Principal Meridian, Permanent Parcel No. 04-10-119-060

P.I.N.: 04-10-119-060

EXHIBIT B

(Insert PLANS here)





**CITY OF WEST CHICAGO**  
**APPLICATION FOR FACADE IMPROVEMENT PROGRAM**

RECEIVED  
DEC 17 2018

COA# \_\_\_\_\_

DATE RECEIVED \_\_\_\_\_

BUILDING PERMIT# \_\_\_\_\_

**APPLICANT AND PROPERTY OWNER INFORMATION**

APPLICANT'S NAME

*West Chicago Historical Society*

APPLICANT'S ADDRESS

*527 MAIN STREET, WEST CHICAGO, IL*

APPLICANT'S TELEPHONE NUMBER

[REDACTED]

*TONY WIDOWIAZ, TREASURER*

ARE YOU THE PROPERTY OWNER?

☒ YES

☐ NO

IF SO, OWNERSHIP STATUS

☐ SOLE OWNER

☐ PARTNERSHIP

*NOT FOR PROFIT* ☒ CORPORATION

☐ TRUST

ARE YOU THE TENANT?

*NA*

☐ YES

☐ NO

IF SO, YEARS REMAINING ON LEASE? \_\_\_\_\_

IF YOU ARE NOT THE PROPERTY OWNER, PLEASE PROVIDE:

OWNER'S NAME \_\_\_\_\_

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

**PROPERTY INFORMATION**

PROPERTY ADDRESS OF PROJECT

*527 MAIN STREET, WEST CHICAGO*

LEGAL DESCRIPTION (?)

*THE WEST 174 FEET OF THE EAST 695.38 FEET OF THE SOUTH 247.5 FEET  
OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10,  
TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN,*

BUSINESS NAME

*IN DUPAGE COUNTY, ILLINOIS*

*WEST CHICAGO HISTORICAL SOCIETY*

HISTORIC BUILDING NAME

*KRUSE HOUSE MUSEUM*

CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

PAGE 2

TENANTS	BUSINESS OWNER'S NAME	SQ. FT.	LEASE TERMS
NUMBER OF STORIES <u>2</u> BASEMENT? <u>X</u> YES <u> </u> NO			
ARE THERE DWELLING UNITS ABOVE THE FIRST FLOOR? <u> </u> YES <u> </u> NO			
IF YES, NUMBER OF DWELLING UNITS? <u>N/A</u>			

**PROJECT**

DESCRIBE YOUR PROJECT

REPAIR COPPER GUTTERS:

- REPAIR / RESEAL NORTHWEST GUTTER
- REPAIR / RESEAL / REPLACE NORTHWEST DOWNSPOUT
- ADD NEW DOWNSPOUTS AS NEEDED: ERS, SOUTHEAST, SOUTHWEST
- REPLACE STEEL GUTTER HANGERS WITH COPPER HANGERS;  
FASTEN WITH STAINLESS STEEL HARDWARE.
- REPAIR GUTTERS TO ALLOW FOR PROPER DRAINAGE

CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

PAGE 3

**FUNDING**

AMOUNT OF GRANT REQUEST	\$ 2000
-------------------------	---------

**ITEMIZATION OF THE WORK TO BE PERFORMED TO MAKE THE NECESSARY REPAIRS**

DESCRIPTION	ESTIMATED COST
ARCHITECT	\$
AWNINGS	\$
CHIMNEY	\$
CORNICE	\$
DOORS	\$
FASCIA	\$
FLASHING	\$
GUTTERS	\$ \$4000 - \$7000
LANDSCAPING	\$
LIGHTING	\$
PAINTING	\$
PORCHES/RAILINGS	\$
ROOF	\$
SIGNS	\$
SOFFIT	\$
STAIRS	\$
WALLS	\$
WINDOWS	\$
OTHER	\$
TOTAL	\$



OFFICIAL USE ONLY	
Building Permit #	_____
COA #	_____
COA Approval Date	_____

**CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM**

**COMPLETE ONE FORM FOR EACH PROJECT ADDRESS**

PROJECT ADDRESS	<u>Kruse House Museum, 527 Main Street, West Chicago</u>
OWNER'S NAME	<u>West Chicago Historical Society</u>
OWNER'S ADDRESS	<u>527 Main Street, West Chicago</u>
OWNER'S TELEPHONE NUMBER	<u>[REDACTED] Tony Wdowiarz, Treasurer</u>
CONTRACTOR'S NAME	<u>Combined Roofing Services, LLC</u>
CONTRACTOR'S ADDRESS	<u>621 W. Washington St.</u>
	<u>West Chicago, IL 60185</u>
CONTRACTOR'S TELEPHONE NUMBER	<u>630-231-4422 Jeff Peterson</u>
DATE	<u>10/24/2019</u>

DESCRIPTION OF PROPOSED CONSTRUCTION – ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.  Add one new downspout (2"X3") at \$1,750 each. Repair/replace one damaged downspout (4"X5") at \$1,925 each. Install copper gutter straps where currently missing and realign gutters: \$3,200.
---

TOTAL COST TO PERFORM ABOVE WORK \$	<u>\$ 6,875.00</u>
THIS ESTIMATE GOOD FROM -- UNTIL --.	_____
CONTRACTOR'S SIGNATURE	<u>see attached</u>



**American Roofing and  
Repair**

PH: (630) 231-4422  
Fax (630) 231-9153

**Combined  
Roofing  
Services, LLC**

621 W Washington St.  
West Chicago, IL 60185  
IL LIC #104-015473

**E. W. OLSON ROOFING**

PH: (708) 596-9600  
Fax (708) 596-9484

October 24, 2019

Anthony Wdowiarz

Email: [REDACTED]

Re: Kruse House – Gutter repairs

Anthony,

I went by Kruse House and looked at the gutters and downspouts this week. There are only 3 downspouts on the building so it probably needs at least one more. The only one I noticed that was stretched was the larger one on the northwest side of the building.

To address the gutter sagging, we propose to furnish and installing copper straps at any areas that are currently missing. The straps will be fastened to the front edge of the existing gutter and into the fascia board on the building. This will realign the front edge of the gutter and hold it in place. While looking at the gutter from the ground, I could see holes in the two north miters of the gutter. Because of the age of the gutters, I don't think we can re-solder the joint. We can try to reseal them with urethane sealant while we are on the roof adding the strapping.

For the strap work the cost will be \$ 3,200.00

The smaller downspouts (2"x3") on the east side of the building appear to be in good shape.

To remove and replace either of these downspouts or add one new 2"x3" downspout the cost will be \$ 1,750.00 per downspout.

The larger downspout (4"x5") on the west side of the building seems to be the one that has frozen and is expanded. To remove and replace this downspout or add a new 4"x5" downspout the cost will be \$ 1,925.00 per downspout.

All of the new downspouts would be made from 16 ounce per square foot copper and will be in the same corrugated style as all of the existing downspouts.

Respectfully submitted,  
Combined Roofing Services, LLC

Jeff Peterson  
Vice President

OFFICAL USE ONLY	
Building Permit #	_____
COA #	_____
COA Approval Date	_____

**CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM**

**COMPLETE ONE FORM FOR EACH PROJECT ADDRESS**

PROJECT ADDRESS	Kruse House Museum, 527 Main Street, West Chicago
OWNER'S NAME	West Chicago Historical Society
OWNER'S ADDRESS	527 Main Street, West Chicago
OWNER'S TELEPHONE NUMBER	██████████ Tony Wdowiarz, Treasurer
CONTRACTOR'S NAME	Phoenix Restoration
CONTRACTOR'S ADDRESS	181 W Crossroads Parkway Unit J Bolingbrook, IL 60440
CONTRACTOR'S TELEPHONE NUMBER	630-296-1001 Sara Drag
DATE	12/9/2019

<p><b>DESCRIPTION OF PROPOSED CONSTRUCTION – ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.</b></p> <p>North and West sides  Repair &amp; replace damaged gutters on north west side.  Detach &amp; reset downspout on northwest side.  Re-pitch gutters for proper drainage.  Prime &amp; paint gutter / downspout as needed.</p> <p>East side  Detach, reset and re-pitch gutters for proper drainage.</p> <p>South side  Two new downspouts to each side at corner  Detach, reset and re-pitch gutters for proper drainage.</p> <p>Note: Gutters &amp; Downspouts  Phoenix to investigate all gutters and downspouts for broken support straps and provide adjusted cost estimates for strap replacement.</p>
---

TOTAL COST TO PERFORM ABOVE WORK	\$ 4,136.92
THIS ESTIMATE GOOD FROM -- UNTIL --.	_____
CONTRACTOR'S SIGNATURE	see attached





PHOENIX  
RESTORATION

## Phoenix Restoration

27-1617481

---

Client: Kruse House Museum  
Property: 527 Main St  
Wes Chicago, IL 60185

Home: [REDACTED]

Operator: SDRAG

Estimator: Sarah Drag  
Position: Estimator  
Company: Phoenix Restoration  
Business: 181 W Crossroads Parkway Unit J  
Bolingbrook, IL 60440

Business: (630) 296-1001  
E-mail: Sdrag@phxrestore.com

Type of Estimate: Other

Date Entered: 12/9/2019

Date Assigned:

Price List: ILCC8X\_DEC19

Labor Efficiency: Restoration/Service/Remodel

Estimate: KRUSEHOUSE-2019

Estimate for to replace second story gutters



## Phoenix Restoration

27-1617481

### KRUSEHOUSE-2019

#### Main Level

B

DESCRIPTION	QTY	UNIT PRICE	TOTAL
<b>Gutters &amp; Downspout</b>			
<b>*Broken support straps will be accessed prior to work being completed to accurately determine how many supports will need replaced. This work is an additional cost that will be added at that time.</b>			
<b>Left/West Elevation</b>			
1. R&R Gutter - copper - 6"	15.00 LF @	26.73 =	400.95
<b>*Replace damaged gutters on north west side.</b>			
2. Prime & paint gutter / downspout	15.00 LF @	1.50 =	22.50
3. Labor to repitch gutters	4.00 HR @	114.99 =	459.96
4. Downspout - Detach & reset	23.25 LF @	5.12 =	119.04
<b>Right/East Elevation</b>			
5. Labor to Repitch gutters	4.00 HR @	114.99 =	459.96
6. Gutter - Detach & reset	38.25 LF @	5.12 =	195.84
<b>Front/South Elevation</b>			
7. Downspout - galvanized - 6"	46.00 LF @	11.72 =	539.12
<b>*Add an additional downspout to each side at corner</b>			
8. Labor to cut for new downspouts	2.00 HR @	114.99 =	229.98
9. Labor to Repitch gutters	4.00 HR @	114.99 =	459.96
10. Gutter - Detach & reset	36.17 LF @	5.12 =	185.19
<b>General</b>			
11. Haul debris - per pickup truck load - including dump fees	1.00 EA @	152.86 =	152.86

#### Labor Minimums Applied

DESCRIPTION	QTY	UNIT PRICE	TOTAL
12. Painting labor minimum	1.00 EA @	180.77 =	180.77



## Phoenix Restoration

27-1617481

### Grand Total Areas:

0.00	SF Walls	0.00	SF Ceiling	0.00	SF Walls and Ceiling
0.00	SF Floor	0.00	SY Flooring	0.00	I.F Floor Perimeter
0.00	SF Long Wall	0.00	SF Short Wall	0.00	I.F Ceil. Perimeter
0.00	Floor Area	0.00	Total Area	0.00	Interior Wall Area
4,572.59	Exterior Wall Area	0.00	Exterior Perimeter of Walls		
2,905.87	Surface Area	29.06	Number of Squares	494.66	Total Perimeter Length
37.32	Total Ridge Length	258.77	Total Hip Length		





## Phoenix Restoration

27-1617481

### Summary

Line Item Total	3,406.13
Material Sales Tax	41.29
Subtotal	3,447.42
Overhead	344.75
Profit	344.75
Replacement Cost Value	\$4,136.92
Net Claim	\$4,136.92

Sarah Drag  
Estimator

OFFICAL USE ONLY	
Building Permit #	_____
COA #	_____
COA Approval Date	_____

**CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM**

**COMPLETE ONE FORM FOR EACH PROJECT ADDRESS**

PROJECT ADDRESS	<u>Kruse House Museum, 527 Main Street, West Chicago</u>
OWNER'S NAME	<u>West Chicago Historical Society</u>
OWNER'S ADDRESS	<u>527 Main Street, West Chicago</u>
OWNER'S TELEPHONE NUMBER	<u>[REDACTED] Tony Wdowiarz, Treasurer</u>
CONTRACTOR'S NAME	<u>Showalter Roofing Service, Inc.</u>
CONTRACTOR'S ADDRESS	<u>25W048 Ramm Drive</u>
	<u>Naperville, IL 60564</u>
CONTRACTOR'S TELEPHONE NUMBER	<u>630-499-7700 Alex Savino</u>
DATE	<u>10/2/2019</u>

**DESCRIPTION OF PROPOSED CONSTRUCTION – ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.**

Damaged gutter on West side will be repaired & re-sealed as needed.  
 Damaged Northwest Downspout will be replaced with 3" x 4" copper downspout.  
 New downspouts will be added to the Southwest & Southeast corners and will drain directly into the porch gutter.  
 South gutter will be re-pitched so the center is the high point & damaged hangers will be repaired or replaced as needed.  
 All other existing downspouts will remain in place.  
 All steel gutter hangers will be removed and disposed of.  
 New copper gutter hangers will be installed and fastened with stainless steel hardware to prevent rusting and corrosion.  
 This will resolve the issue of the gutter hangers pulling away from fascia board as well as replacing the failing hardware.

TOTAL COST TO PERFORM ABOVE WORK	<u>\$ 5,375.00</u>
THIS ESTIMATE GOOD FROM -- UNTIL --.	_____
CONTRACTOR'S SIGNATURE	<u>see attached</u>

35


 Tel: 630.499.7300  
 Fax: 630.499.7307

<b>Date:</b> <u>October 2, 2019</u>	<b>Project:</b> <u>24174</u>
Tony Dowiarz West Chicago Historical Society  West Chicago, IL 60185	Kruse House Museum 527 Main Street West Chicago, IL 60185
Mobile Phone: [REDACTED]	E-mail: [REDACTED]

---

**EXISTING ROOF SYSTEM**


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Damaged gutter on West side will be repaired & re-sealed as needed.

Damaged Northwest Downspout will be replaced with 3" x 4" copper downspout.

New downspouts will be added to the Southwest & Southeast corners and will drain directly into the porch gutter.

South gutter will be re-pitched so the center is the high point & damaged hangers will be repaired or replaced as needed.

All other existing downspouts will remain in place.

All steel gutter hangers will be removed and disposed of.

New copper gutter hangers will be installed and fastened with stainless steel hardware to prevent rusting and corrosion.

This will resolve the issue of the gutter hangers pulling away from fascia board as well as replacing the failing hardware.

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**INVESTMENT:** \$5,375.00

**INITIALS** \_\_\_\_\_
 

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35



501 E. 14th Street, Suite 200  
Chicago, IL 60605

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#### NOTES

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All roofing work will be done in accordance with manufacturers specifications and NRCA Good Roofing Practices.

1-year non-transferable warranty

This warranty only applies to the proposed roofing repair work, not to the roof as a whole. However, if there are other leak areas (other than the ones already fixed on the roof surface) those areas would be addressed at a later time at a time and materials basis of \$105 per man hour.

\*1/3 deposit required

\*Final payment due upon completion

---

All materials and workmanship will be carried out according to standard roofing practices. Any alterations in the above stated contract will be submitted in writing for prior approval. All agreements are contingent upon strikes, accidents or delays beyond our control. Our workers are fully covered by Workman's Compensation and Liability insurance. Showalter Roofing Service, Inc. is fully licensed, bonded and insured. The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be as stated in the terms of this agreement. All work will be carried out in a timely fashion. SRSI will only be responsible for damages in as much as they were negligent to carry out their work in a professional manner. SRSI will not be responsible for ponding water on low slope roofs, we will also not be responsible for the following items: leakage due to ice damming, damage to driveways, damage to items left in the attic area, cleanup of attic area due to space boards, nail pops or cracks caused by the removal and replacement.

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Sincerely,

*Alex Savino*

Alex Savino  
Sheet Metal Dept. Manager  
Showalter Roofing Service, Inc.  
Rising to Great Heights to Serve You!

Acceptance: \_\_\_\_\_

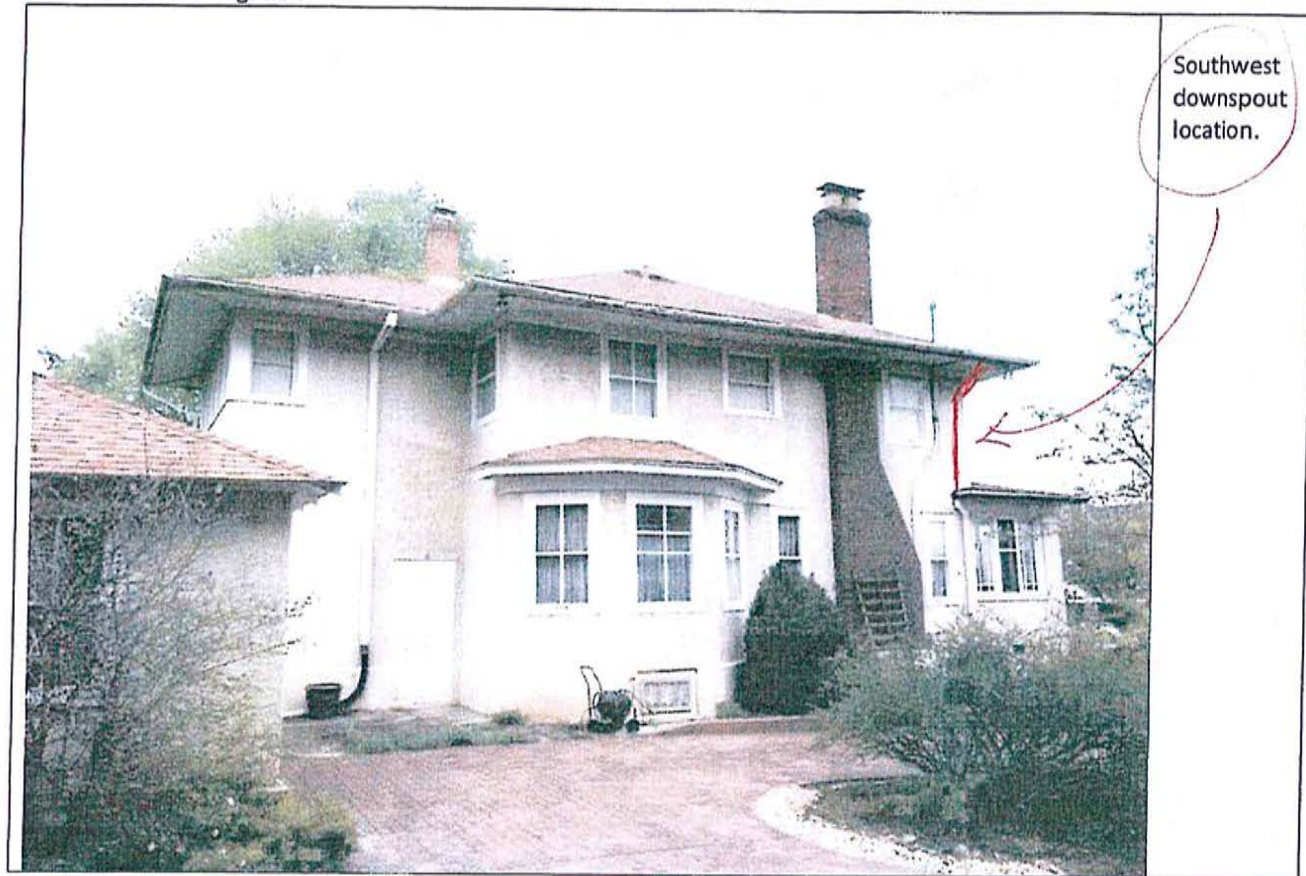
Date: \_\_\_\_\_

Project #24174      527 Main Street, West Chicago, IL 60185

West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



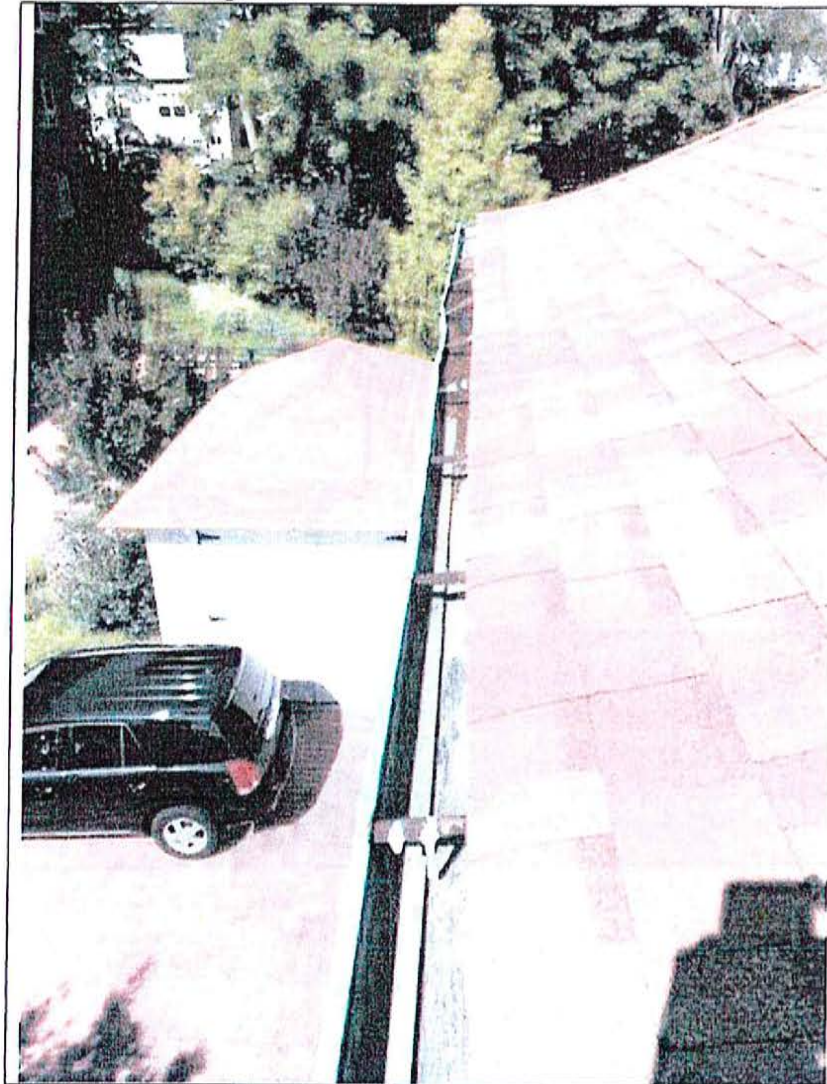
West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



Southwest  
downspout  
location.



West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



West gutter  
to be  
repaired  
and  
straightene  
d

West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



Hanger  
screws  
pulling  
away from  
fascia board  
around  
perimeter.

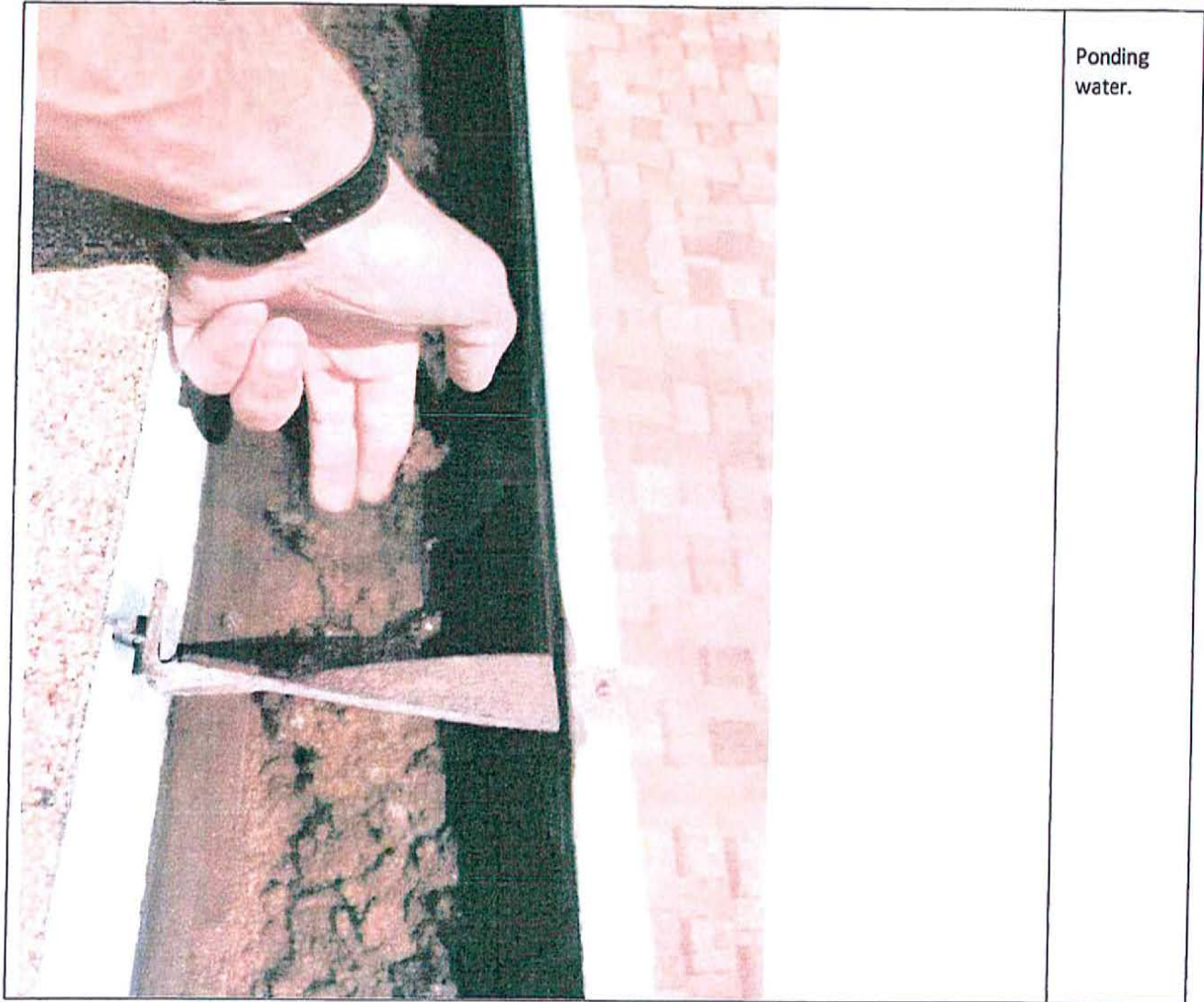
West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



Front of house:  
Gutter hangers broken; gutter sagging and holding water.



West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



Ponding  
water.

West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



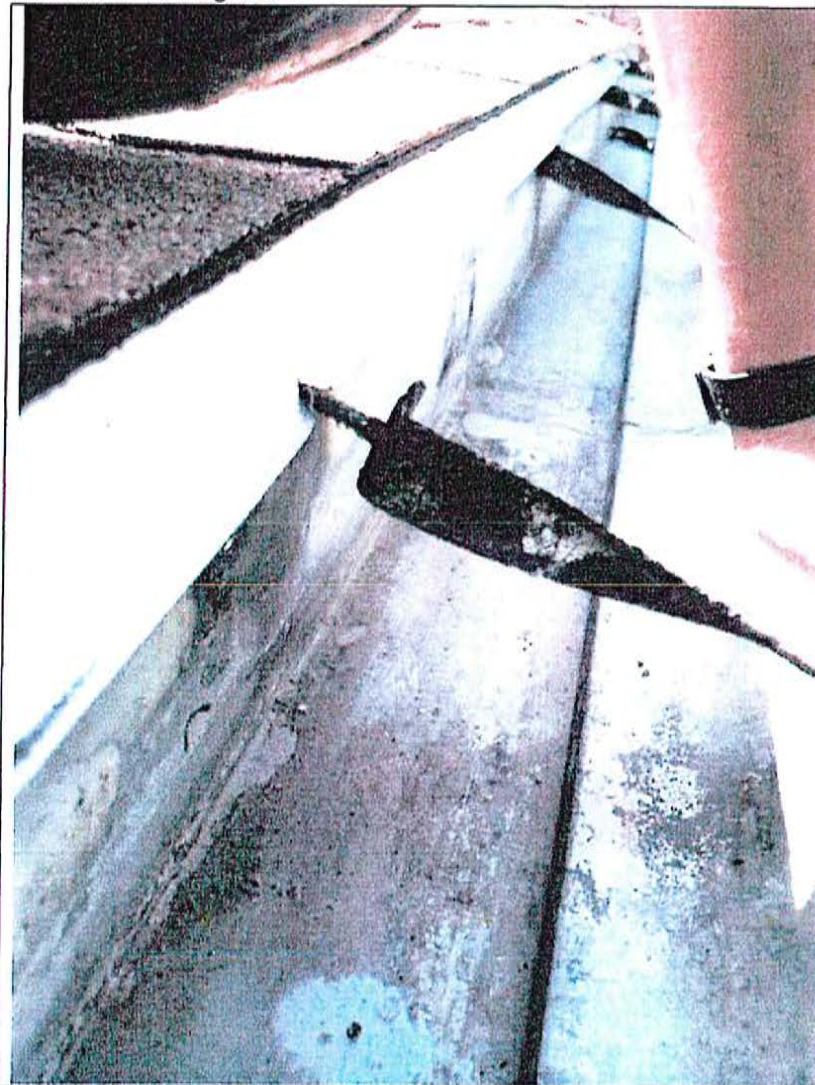
Failing  
gutter  
hangers.





Hanger  
screw not  
attached to  
fascia.





Hanger  
screw not  
attached to  
fascia.

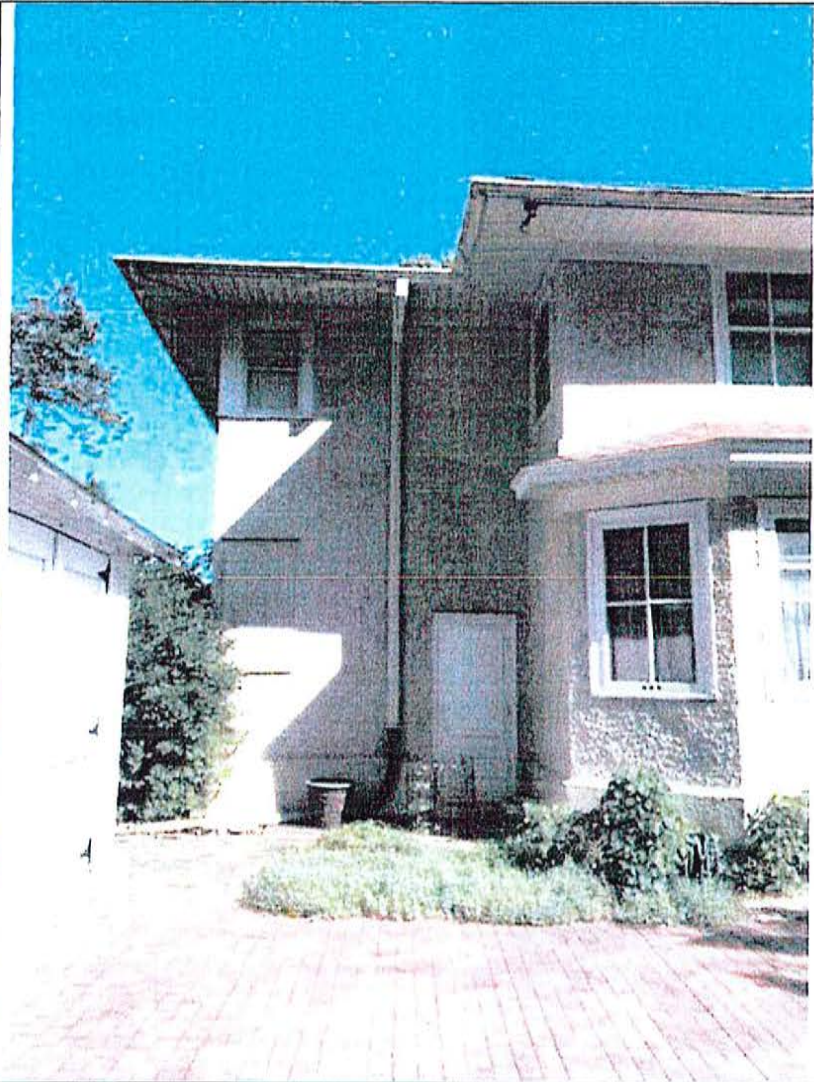
West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



Hanger not  
attached to  
gutter.



West Chicago Historical Society  
Kruse House Museum, 527 Main Street, West Chicago, IL  
2019 Gutter Investigation



Blown out  
west  
downspout.



## CITY OF WEST CHICAGO

### CITY COUNCIL AGENDA ITEM SUMMARY

**ITEM TITLE:**

Downtown Façade Grant Program Agreement  
207 Main Street  
Mary Mercedes Arroyo Gonzalez  
  
Resolution No. 20-R-0034

**AGENDA ITEM NUMBER:**8.I.**FILE NUMBER:****COMMITTEE AGENDA DATE:****COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Tom Dabareiner, AICP**SIGNATURE****CITY ADMINISTRATOR REVIEW:** Michael Guttman**SIGNATURE****ITEM SUMMARY:**

Mary Mercedes Arroyo Gonzalez, property owner of the building at 207 Main Street, has requested Façade Grant Program funding for the purpose of undertaking roof repairs/replacement. The proposed improvement is an eligible expenditure under the Program's guidelines and complies with the City's Building and Zoning Code regulations.

Mary Mercedes Arroyo Gonzalez submitted two (2) estimates for the roof project, as only two contractors responded to requests for quotes, owing to the unavailability of many contractors during the Covid outbreak. The estimates secured included: 1) B&J Roofing Company for \$6,025.00; and 2) CPR Construction Company for \$6,025.00. The City's contribution is typically 50% of the lowest estimated cost(s), which in this instance totals \$3,012.50.

The funding for the Program comes from the downtown T.I.F. district, if sufficient funding is available for the Program. City staff determined that there are sufficient funds available to reimburse up to \$3,012.50 to Mary Mercedes Arroyo Gonzalez for the successful replacement of the aforementioned roof repairs and replacement per the Program's guidelines.

**ACTIONS PROPOSED:**

Consideration of an award of a Façade Grant to Mary Mercedes Arroyo Gonzalez in an amount not to exceed \$3,012.50 to make needed roof repairs/replacement at 207 Main Street. A Resolution and Grant Agreement reflecting an amount of \$3,012.50 are attached.

**COMMITTEE RECOMMENDATION:**

In consultation with the Development Committee Chair, this item has been moved directly to City Council for consideration.

**RESOLUTION NO. 20-R-0034**

**A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE  
A CERTAIN DOWNTOWN FAÇADE GRANT PROGRAM AGREEMENT -  
MARIA MERCEDES ARROYO GONZALEZ – 207 MAIN STREET**

BE IT RESOLVED by the City Council of the City of West Chicago, in regular session assembled, that the Mayor is hereby authorized to execute a certain Downtown Façade Grant Program Agreement by and between Maria Mercedes Arroyo Gonzalez and the City of West Chicago, a copy of which is attached hereto and incorporated herein as Exhibit “A”.

APPROVED this 20<sup>th</sup> day of July, 2020.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith



## **Exhibit A to Resolution 20-R-0034**

### **DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT**

This DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT (hereinafter referred to as the "AGREEMENT") is entered into this 20<sup>th</sup> day of August, 2020, by and between the City of West Chicago, DuPage County, Illinois, an Illinois municipal corporation (hereinafter referred to as the "CITY") and Maria Mercedes Arroyo Gonzalez, (hereinafter referred to as the "APPLICANT") (the CITY and the APPLICANT are hereinafter collectively referred to as the "PARTIES");

#### WITNESSETH:

WHEREAS, the APPLICANT is the owner of certain real property located at 207 Main Street, in West Chicago, (hereinafter referred to as the "SUBJECT REALTY") and legally described on Exhibit "A", which is attached hereto and incorporated herein; and,

WHEREAS, the SUBJECT REALTY is located within the CITY'S Downtown Redevelopment Project Area (hereinafter referred to as the "AREA"), duly established pursuant to the Tax Increment Allocation Redevelopment Act (hereinafter referred to as the "ACT"), 65 ILCS 5/11-74.4-1 et seq.; and,

WHEREAS, Chapter 4, Article V of the CITY'S Code of Ordinances establishes specific rules and regulations with respect to the alteration of historic structures in the AREA; and,

WHEREAS, Chapter 4 Article VI of the CITY'S Code of Ordinances establishes a facade program (hereinafter referred to as the "PROGRAM") whereby the CITY may make financial contributions toward the cost of certain exterior improvements with respect to commercial structures located within the AREA; and,

WHEREAS, the SUBJECT REALTY is improved with a commercial structure upon which the APPLICANT proposes to complete certain exterior improvements (hereinafter referred to as the "IMPROVEMENTS"), as detailed and depicted on the improvement plans and specifications (hereinafter referred to as the "PLANS"), which are attached hereto and incorporated herein as Exhibit "B"; and,

WHEREAS, the APPLICANT has applied, pursuant to the PROGRAM, for a financial contribution from the CITY toward the cost of the IMPROVEMENTS as detailed and depicted on the PLANS; and,

WHEREAS, the CITY has determined that it would further the achievement of the objectives of the AREA for the commercial structure located upon the SUBJECT REALTY to be improved as provided for on the PLANS and that said IMPROVEMENTS would qualify for financial contributions from the CITY pursuant to the PROGRAM; and,

WHEREAS, the CITY desires the IMPROVEMENTS be completed on the SUBJECT REALTY and agrees to financially contribute toward such IMPROVEMENTS based on the terms and conditions of this AGREEMENT and the PROGRAM; and,

WHEREAS, the APPLICANT desires to complete the IMPROVEMENTS in accordance with the terms and conditions of this AGREEMENT and the PROGRAM and desires to receive a financial contribution from the CITY for the completion of said IMPROVEMENTS.



WHEREAS, on July 23<sup>rd</sup>, 2019 the CITY'S Historical Preservation Commission approved Certificates of Appropriateness No. 19-08 for the IMPROVEMENTS.

NOW, THEREFORE, in consideration of the foregoing premises and in further consideration of the mutual covenants, conditions and agreements herein contained, the PARTIES hereto agree as follows:

ARTICLE I  
INCORPORATION OF RECITALS

The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Article I and the same shall continue for so long as this AGREEMENT is of force and effect.

ARTICLE II  
AUTHORITY

This AGREEMENT is made and entered into by the PARTIES pursuant to and in accordance with the provisions of the ACT.

ARTICLE III  
IMPROVEMENTS TO THE SUBJECT REALTY

The APPLICANT shall complete the IMPROVEMENTS on the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT and in full compliance with all applicable codes, ordinances, rules, regulations, permits and any conditions attached thereto, whether imposed by the CITY or any other unit of local government or any Federal, State or governmental agency having jurisdiction over the SUBJECT REALTY or any portion thereof, and shall complete the IMPROVEMENTS in a good and workmanlike manner.

The APPLICANT shall furnish, or cause to be furnished, at his own expense, all the necessary materials, labor and equipment to complete the IMPROVEMENTS in accordance with the PLANS. The IMPROVEMENTS shall be subject to inspection by, and approval of, the CITY.

The APPLICANT shall pay to the CITY all plan review, inspection and other fees, prior to the issuance of any required building permits for the IMPROVEMENTS on the SUBJECT REALTY, as required by the CITY'S Code of Ordinances.

The APPLICANT shall complete the IMPROVEMENTS within twelve (12) months of the issuance of the building permit by the CITY for such IMPROVEMENTS. If the APPLICANT fails to complete the IMPROVEMENTS within the established timeframe the CITY may rescind the financial contribution agreed upon herein in this AGREEMENT.

ARTICLE IV  
REDEVELOPMENT OF THE SUBJECT REALTY

Upon the APPLICANT'S completion of the IMPROVEMENTS on the SUBJECT REALTY as provided hereinabove, the APPLICANT shall give notice of completion to the CITY, and shall provide the CITY with all receipts, sworn contractor statements and lien waivers (hereinafter referred to as the "DOCUMENTATION") showing that all persons who have done work, or have furnished materials with respect to the IMPROVEMENTS, and might be entitled to a



lien therefore under any laws of the State of Illinois, have been paid in full for their work and are no longer entitled to such lien. The CITY shall inspect the IMPROVEMENTS as soon as practicable after receipt of the DOCUMENTATION, and if the IMPROVEMENTS are found to be in full compliance with the terms of this AGREEMENT and all applicable codes, ordinances, rules, regulations, permits and conditions as provided hereinabove, the CITY shall issue a final inspection report approving the IMPROVEMENTS. The City Council, following the issuance of said final inspection report and receipt of all of the required DOCUMENTATION, shall authorize payment of the CITY'S financial contribution toward the IMPROVEMENTS pursuant to the PROGRAM in an amount equal to the lesser of Three Thousand Twelve Dollars and Fifty Cents (\$3,012.50), or one half of the amount actually paid by the APPLICANT for the IMPROVEMENTS, as indicated on the DOCUMENTATION submitted to the CITY, whichever is less.

#### ARTICLE V

##### TIME

Time is of the essence under this AGREEMENT and all time limits set forth herein shall be mandatory and shall not be waived except by a lawfully authorized and executed written waiver amendment to this AGREEMENT by the PARTIES excusing such timely performance.

#### ARTICLE VI

##### AMENDMENTS

This AGREEMENT sets forth all the promises, inducements, agreements, conditions and undertakings between the APPLICANT and the CITY relative to the IMPROVEMENTS identified herein this AGREEMENT, and there shall be no promises, agreements, conditions or understandings, either oral or written, express or implied, between them, other than as herein set forth. No subsequent alteration, amendment, change or addition to this AGREEMENT shall be binding upon the PARTIES hereto unless authorized in accordance with the law and reduced in writing and signed by the PARTIES. However, whenever under the provisions of this AGREEMENT any notice or consent of the CITY or the APPLICANT is required, or the CITY or the APPLICANT is required to agree or to take some action at the request of the other, such approval or such consent of such request shall be given for the CITY, unless otherwise provided herein, by the Mayor or his designee and for the APPLICANT by the APPLICANT or any agent as the APPLICANT so authorizes.

#### ARTICLE VII

##### NOTICES

All notices and requests required pursuant to this AGREEMENT shall be sent by certified mail as follows:

To the APPLICANT:	Maria Mercedes Arroyo Gonzalez 207 Main Street West Chicago, IL 60185
-------------------	---

To the CITY:

City of West Chicago  
475 Main Street  
West Chicago, Illinois 60185

or at such other addresses as either of the PARTIES may indicate in writing to the other either by personal delivery or by certified or registered mail, return receipt requested, with proof of delivery thereof.

ARTICLE VIII  
GOVERNING LAWS

This AGREEMENT shall be construed and enforced in accordance with the laws of the State of Illinois.

ARTICLE IX  
COUNTERPARTS

This AGREEMENT may be executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

IN WITNESS WHEREOF, the PARTIES hereto have set their hands and seals on the date first above written.

CITY OF WEST CHICAGO, an Illinois  
Municipal Corporation,

By: \_\_\_\_\_  
Mayor Ruben Pineda

ATTEST: \_\_\_\_\_  
City Clerk Nancy M. Smith

By: \_\_\_\_\_  
Maria Mercedes Arroyo Gonzalez



STATE OF ILLINOIS        )  
                                      )       SS.  
COUNTY OF DU PAGE     )

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Ruben Pineda, Mayor of the City of West Chicago, and Nancy M. Smith, City Clerk, personally known to me to be the same persons whose names are set forth on the foregoing instrument as such Mayor and City Clerk respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

STATE OF ILLINOIS       )  
                                      )  
COUNTY OF DU PAGE     )       SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Maria Mercedes Arroyo Gonzalez, personally known to me to be the same person whose name is set forth on the foregoing instrument appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

## EXHIBIT A

### Subject Realty Legal Description

PARCEL 1: THE SOUTHERLY 20.00 FEET, MEASURED ON THE EASTERLY LINE AND ON THE WESTERLY LINE OF THE WESTERLY 1/2, MEASURED ALONG THE NORTHERLY LINE AND ALONG THE SOUTHERLY LINE OF LOT 2 IN BLOCK 3 IN THE TOWN OF JUNCTION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 9 AND PART OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 22, 1856 AS DOCUMENT 10634, IN DUPAGE COUNTY, ILLINOIS

PARCEL 2: THAT PART OF LOT 2 IN BLOCK 3 IN THE TOWN OF JUNCTION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 9 AND PART OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 39 NORTH RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 22, 1856 AS DOCUMENT 10634, DESCRIBED BY COMMENCING AT A CROSS IN THE CONCRETE AT THE INTERSECTION OF THE EASTERLY LINE OF MAIN STREET AND THE SOUTHERLY LINE OF GALENA STREET; THENCE SOUTHEASTERLY ALONG THE EASTERLY LINE OF MAIN STREET, 68.43 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING SOUTHEASTERLY ALONG THE EASTERLY LINE OF MAIN STREET, 21.57 FEET TO A POINT 20.00 FEET NORTHWESTERLY, MEASURED ALONG THE EASTERLY LINE OF MAIN STREET, FROM THE SOUTHWESTERLY CORNER OF SAID LOT 2; THENCE NORTHEASTERLY PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT 2, 75.60 FEET; THENCE NORTHWESTERLY PARALLEL WITH THE EASTERLY LINE OF MAIN STREET, 22.13 FEET; THENCE SOUTHWESTERLY AND PASSING ALONG THE NORTHWESTERLY FACE OF THE BRICK BUILDING LOCATED ON THE PREMISES HEREIN DESCRIBED TO THE POINT OF BEGINNING IN DUPAGE COUNTY, ILLINOIS

P.I.N.: 04-10-109-003 and 04-10-109-004



## EXHIBIT B

(Insert PLANS here)



CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

COA# 19-08

DATE RECEIVED 1/9/20

BUILDING PERMIT# \_\_\_\_\_

APPLICANT AND PROPERTY OWNER INFORMATION

APPLICANT'S NAME

Maria Mercedes Arroyo Gonzalez

APPLICANT'S ADDRESS

[REDACTED]

APPLICANT'S TELEPHONE NUMBER

[REDACTED]

ARE YOU THE PROPERTY OWNER?

☒ YES

☐ NO

IF SO, OWNERSHIP STATUS

☐ SOLE OWNER

☒ PARTNERSHIP

☐ CORPORATION

☐ TRUST

ARE YOU THE TENANT?

☐ YES

☒ NO

IF SO, YEARS REMAINING ON LEASE? \_\_\_\_\_

IF YOU ARE NOT THE PROPERTY OWNER, PLEASE PROVIDE:

OWNER'S NAME \_\_\_\_\_

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

PROPERTY INFORMATION

PROPERTY ADDRESS OF PROJECT

207 Main Street, West Chicago, IL 60185

LEGAL DESCRIPTION

See Attached

BUSINESS NAME

Rincon Latino, Inc.

HISTORIC BUILDING NAME

CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

PAGE 2

TENANTS	BUSINESS OWNER'S NAME	SQ. FT.	LEASE TERMS

NUMBER OF STORIES 2 BASEMENT? YES X NO

ARE THERE DWELLING UNITS ABOVE THE FIRST FLOOR? X YES NO

IF YES, NUMBER OF DWELLING UNITS? 1

**PROJECT**

DESCRIBE YOUR PROJECT

Repair / Replace the roof using 60 mil  
EPDM to prevent leaking.



CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

PAGE 3

**FUNDING**

AMOUNT OF GRANT REQUEST	\$ 3,012.50
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**ITEMIZATION OF THE WORK TO BE PERFORMED TO MAKE THE NECESSARY REPAIRS**

DESCRIPTION	ESTIMATED COST
ARCHITECT	\$
AWNINGS	\$
CHIMNEY	\$
CORNICE	\$
DOORS	\$
FASCIA	\$
FLASHING	\$
GUTTERS	\$
LANDSCAPING	\$
LIGHTING	\$
PAINTING	\$
PORCHES/RAILINGS	\$
ROOF	\$ 6,025
SIGNS	\$
SOFFIT	\$
STAIRS	\$
WALLS	\$
WINDOWS	\$
OTHER	\$
TOTAL	\$ 6,025

OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 19-08  
COA Approval Date 7/23/19

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 207 Main Street

OWNER'S NAME Marin Mercedes Moroya Gonzalez

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME CPR Construction Company

CONTRACTOR'S ADDRESS 1015 Warren Ave. Belvidere, IL 60185

CONTRACTOR'S TELEPHONE NUMBER (779) 772-0498 DATE 04/28/19

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL  
INFORMATION TO THIS FORM.

Install 60 Mil EPDM flat roof over existing  
roof

TOTAL COST TO PERFORM ABOVE WORK \$ 6,025

THIS ESTIMATE GOOD FROM See Attached UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE See Attached

1015 Warren Ave Belvidere, IL 61008  
(779) 772-0498  
CPR.ConstructionCompany@yahoo.com

# ESTIMATE

Invoice Number: 198  
Invoice Date: 04/28/19

Bill To: Natural Juice Center  
207 Main St  
West Chicago, IL 60185

QTY	DESCRIPTION	PRICE
1	Dumpster	
1	Materials - 60 mil EPDM Rubber Adhered to 1/2 Fiberboard, 3 in Round Plates, Screws, and Pipe/Wall/Tape Flashings	
1	Building Permit Fee	
1	Tear off existing flat roof and replace	
1	Inspect any plywood if rotten, warped or delaminated	
1	Apply flashing to all walls, chimneys, pipes, and other penetrations	
1	Apply 60 mil EPDM rubber adhered to 1/2 in fiberboard, fiberboard held down with 3 in round plates and screwed to decking	
1	Replace 20 bricks on side of building (extra charge for more than 20)	\$275.00
	SUBTOTAL:	\$275.00
		\$5,750.00
JOB DETAILS:	TOTAL:	\$6,025.00

**JOB DETAILS:**

- \*The price shown includes materials, labor, clean-up, and haul-away of all debris.
- \*All materials will be purchased by CPR Construction Company, exact amount unknown.
- \*Dumpster will be provided by CPR Construction Company.
- \*Labor calculated as \$40 per hr, only for flat roof and other roof deck repairs.
- \*If sheets of plywood are damaged, it is an additional \$40 per sheet.
- \*Unknown layers of felt, it is an additional charge for more than one layer.
- \*Project will be completed as long as weather permits it.
- \*All work guaranteed, starts the following day after project has been finished; labor is only for 1 years.

THIS ESTIMATE CONSIST OF 1 SHEET AND IT IS NOT A BILL, ONLY VALID FOR 30 DAYS FROM THE DATE SPECIFIED. AS SOON AS THE ESTIMATE HAS BEEN APPROVED, A COMPLETION TIME FOR THE SAID WORK ABOVE, NEEDS TO BE SCHEDULED. I HEREBY AGREE TO THE WORK AND PRICE DESCRIBED ABOVE, ANY CHANGES DUE TO THE PRICE INCREASE OF MATERIAL OR LABOR WILL AFFECT THE WORK AND THE PRICES.

CLIENT SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

AUTHORIZED SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_



OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 19-06  
COA Approval Date 7/23/19

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 207 Main Street

OWNER'S NAME Maria Mercedes Arroyo Gonzalez

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME B&J Roofing Company

CONTRACTOR'S ADDRESS \_\_\_\_\_

CONTRACTOR'S TELEPHONE NUMBER (815) 382-2462 DATE 4/16/19

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.

Install 60 mil EPDM flat roof over existing roof.

TOTAL COST TO PERFORM ABOVE WORK \$ 6,025

THIS ESTIMATE GOOD FROM See Attached UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE See Attached

QUOTE:



**B & J Roofing Company**  
Arnulfo "Arnie" Escobedo, Owner  
(815) 382-2462

For: Longino  
207 Main St.  
West Chicago, IL.

Date: 04/16/19

---

**FLAT ROOF OVER EXISTING ROOF:**

Inspect any rotted, warped or delaminated plywood. Replace at \$40/sheet.  
Other roof deck repairs to be Time & Materials at \$40/Hr plus materials.

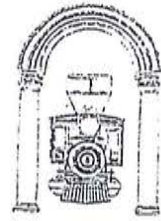
Apply 60 mil EPDM rubber adhered to ½ inch fiberboard. Fiberboard held  
down with 3 inch round plates and screwed to decking.

All Walls, Chimneys, Pipes, and other penetrations to be properly flashed.

Price includes all Labor, Material, Clean-up, and haul-away of all debris.

All work comes with 1 year no hassle guarantee.

<b>Total flat roof:</b>	\$	<b>5,750</b>
Replace 20 bricks on side of building (Extra charge for more then 20)	\$	275
<b>Total price:</b>	\$	<b>6,025</b>



# Certificate of Appropriateness Decision

(to be completed by the Historical Preservation Commission)

Certificate of Appropriateness # 14-05 is hereby approved, subject to compliance with the documents and notes/comments referenced below, for the property located at 207 Mon St

By signing below the Applicant agrees that all work will be completed in accordance with the documents and notes/comments referenced below, except for such changes that may be authorized or required by the City in accordance with any regulations set forth by all local, state and federal codes and ordinances. The Applicant further agrees to post a copy of this Decision, if approved, along with a copy of the building permit issued by the City, on the subject property in a place of public view.

Documents:

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Notes/Comments:

44

CCIA approved includes flat roof replacement and  
awnings.

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[Signature]  
Historical Preservation Commission President

[Signature]  
Date

[Redacted]  
Applicant (or their representative)

[Signature]  
Date

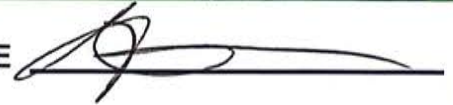


## CITY OF WEST CHICAGO

### CITY COUNCIL AGENDA ITEM SUMMARY

**ITEM TITLE:**

Downtown Façade Grant Program Agreement  
124 Main Street  
Resolution No. 20-R-0035

**AGENDA ITEM NUMBER:**8.5.**FILE NUMBER:****COMMITTEE AGENDA DATE:****COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Tom Dabareiner, AICP**SIGNATURE****CITY ADMINISTRATOR REVIEW:** Michael Guttman**SIGNATURE****ITEM SUMMARY:**

Yolanda Peterson, property owner of the building at 124 Main Street, has requested Façade Grant Program funding for installing both a second entrance/door on the southeast side of the building and an awning on the north face of the building. The proposed improvement is an eligible expenditure under the Program's guidelines and complies with the City's Building and Zoning Code regulations.

Yolanda Peterson submitted three estimates for the door installation project, as required: 1) A&G Glass and Mirror for \$2,900.00; 2) Reflections in Glass for \$7,419.50; and 3) TRI County Glass for \$7,500.00. An additional three estimates were submitted for design, manufacture, and installation of an awning: 1) Huzinger Williams for \$2,300.00; 2) Thatcher Oaks Awnings for \$3,950.00; and 3) Chesterfield Awning, Co. for \$3,597.00. The City's contribution is typically 50% of the lowest estimated cost(s), which in this instance is \$2,600 for both projects listed above.

The funding for the Program comes from the downtown T.I.F. district, if sufficient funding is available for the Program. City staff determined that there are sufficient funds available to reimburse up to \$2,600.00 to Yolanda Peterson for the successful installation of an additional entrance door and design, manufacture and installation of an awning per the Program's guidelines.

**ACTIONS PROPOSED:**

Consideration of a Façade Grant award Façade Grant in an amount not to exceed \$2,600.00 to for the install an additional entrance door and design, manufacture and install an awning at 124 Main Street. A Resolution and Grant Agreement reflecting an amount of \$2,600.00 are attached.

**COMMITTEE RECOMMENDATION:**

In consultation with the Development Committee Chair, this item has been moved directly to City Council for consideration.

**RESOLUTION NO. 2020-R-0035**

**A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE  
A CERTAIN DOWNTOWN FAÇADE GRANT PROGRAM AGREEMENT  
YOLANDA PETERSON – 124 MAIN STREET**

BE IT RESOLVED by the City Council of the City of West Chicago, in regular session assembled, that the Mayor is hereby authorized to execute a certain Downtown Façade Grant Program Agreement by and between Yolanda Peterson and the City of West Chicago, a copy of which is attached hereto and incorporated herein as Exhibit “A”.

APPROVED this 20<sup>th</sup> day of July, 2020.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith



## **Exhibit A to Resolution 2020-R-0035**

### **DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT**

This DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT (hereinafter referred to as the "AGREEMENT") is entered into this 20<sup>th</sup> day of July, 2020, by and between the City of West Chicago, DuPage County, Illinois, an Illinois municipal corporation (hereinafter referred to as the "CITY") and Yolanda Peterson, (hereinafter referred to as the "APPLICANT") (the CITY and the APPLICANT are hereinafter collectively referred to as the "PARTIES");

#### WITNESSETH:

WHEREAS, the APPLICANT is the owner of certain real property located at 124 Main Street, in West Chicago, (hereinafter referred to as the "SUBJECT REALTY") and legally described on Exhibit "A", which is attached hereto and incorporated herein; and,

WHEREAS, the SUBJECT REALTY is located within the CITY'S Downtown Redevelopment Project Area (hereinafter referred to as the "AREA"), duly established pursuant to the Tax Increment Allocation Redevelopment Act (hereinafter referred to as the "ACT"), 65 ILCS 5/11-74.4-1 et seq.; and,

WHEREAS, Chapter 4, Article V of the CITY'S Code of Ordinances establishes specific rules and regulations with respect to the alteration of historic structures in the AREA; and,

WHEREAS, Chapter 4 Article VI of the CITY'S Code of Ordinances establishes a facade program (hereinafter referred to as the "PROGRAM") whereby the CITY may make financial contributions toward the cost of certain exterior improvements with respect to commercial structures located within the AREA; and,

WHEREAS, the SUBJECT REALTY is improved with a commercial structure upon which the APPLICANT proposes to complete certain exterior improvements (hereinafter referred to as the "IMPROVEMENTS"), as detailed and depicted on the improvement plans and specifications (hereinafter referred to as the "PLANS"), which are attached hereto and incorporated herein as Exhibit "B"; and,

WHEREAS, the APPLICANT has applied, pursuant to the PROGRAM, for a financial contribution from the CITY toward the cost of the IMPROVEMENTS as detailed and depicted on the PLANS; and,

WHEREAS, the CITY has determined that it would further the achievement of the objectives of the AREA for the commercial structure located upon the SUBJECT REALTY to be improved as provided for on the PLANS and that said IMPROVEMENTS would qualify for financial contributions from the CITY pursuant to the PROGRAM; and,

WHEREAS, the CITY desires the IMPROVEMENTS be completed on the SUBJECT REALTY and agrees to financially contribute toward such IMPROVEMENTS based on the terms and conditions of this AGREEMENT and the PROGRAM; and,

WHEREAS, the APPLICANT desires to complete the IMPROVEMENTS in accordance with the terms and conditions of this AGREEMENT and the PROGRAM and desires to receive a financial contribution from the CITY for the completion of said IMPROVEMENTS.



WHEREAS, on August 23, 2019 the CITY'S Historical Preservation Commission approved Certificates of Appropriateness No. 19-08 for the IMPROVEMENTS.

NOW, THEREFORE, in consideration of the foregoing premises and in further consideration of the mutual covenants, conditions and agreements herein contained, the PARTIES hereto agree as follows:

#### ARTICLE I INCORPORATION OF RECITALS

The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Article I and the same shall continue for so long as this AGREEMENT is of force and effect.

#### ARTICLE II AUTHORITY

This AGREEMENT is made and entered into by the PARTIES pursuant to and in accordance with the provisions of the ACT.

#### ARTICLE III IMPROVEMENTS TO THE SUBJECT REALTY

The APPLICANT shall complete the IMPROVEMENTS on the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT and in full compliance with all applicable codes, ordinances, rules, regulations, permits and any conditions attached thereto, whether imposed by the CITY or any other unit of local government or any Federal, State or governmental agency having jurisdiction over the SUBJECT REALTY or any portion thereof, and shall complete the IMPROVEMENTS in a good and workmanlike manner.

The APPLICANT shall furnish, or cause to be furnished, at his own expense, all the necessary materials, labor and equipment to complete the IMPROVEMENTS in accordance with the PLANS. The IMPROVEMENTS shall be subject to inspection by, and approval of, the CITY.

The APPLICANT shall pay to the CITY all plan review, inspection and other fees, prior to the issuance of any required building permits for the IMPROVEMENTS on the SUBJECT REALTY, as required by the CITY'S Code of Ordinances.

The APPLICANT shall complete the IMPROVEMENTS within twelve (12) months of the issuance of the building permit by the CITY for such IMPROVEMENTS. If the APPLICANT fails to complete the IMPROVEMENTS within the established timeframe the CITY may rescind the financial contribution agreed upon herein in this AGREEMENT.

#### ARTICLE IV REDEVELOPMENT OF THE SUBJECT REALTY

Upon the APPLICANT'S completion of the IMPROVEMENTS on the SUBJECT REALTY as provided hereinabove, the APPLICANT shall give notice of completion to the CITY, and shall provide the CITY with all receipts, sworn contractor statements and lien waivers (hereinafter referred to as the "DOCUMENTATION") showing that all persons who have done work, or have furnished materials with respect to the IMPROVEMENTS, and might be entitled to a



lien therefore under any laws of the State of Illinois, have been paid in full for their work and are no longer entitled to such lien. The CITY shall inspect the IMPROVEMENTS as soon as practicable after receipt of the DOCUMENTATION, and if the IMPROVEMENTS are found to be in full compliance with the terms of this AGREEMENT and all applicable codes, ordinances, rules, regulations, permits and conditions as provided hereinabove, the CITY shall issue a final inspection report approving the IMPROVEMENTS. The City Council, following the issuance of said final inspection report and receipt of all of the required DOCUMENTATION, shall authorize payment of the CITY'S financial contribution toward the IMPROVEMENTS pursuant to the PROGRAM in an amount equal to the lesser of Two Thousand Six Hundred Dollars and Zero Cents (\$2,600.00), or one half of the amount actually paid by the APPLICANT for the IMPROVEMENTS, as indicated on the DOCUMENTATION submitted to the CITY, whichever is less.

#### ARTICLE V TIME

Time is of the essence under this AGREEMENT and all time limits set forth herein shall be mandatory and shall not be waived except by a lawfully authorized and executed written waiver amendment to this AGREEMENT by the PARTIES excusing such timely performance.

#### ARTICLE VI AMENDMENTS

This AGREEMENT sets forth all the promises, inducements, agreements, conditions and undertakings between the APPLICANT and the CITY relative to the IMPROVEMENTS identified herein this AGREEMENT, and there shall be no promises, agreements, conditions or understandings, either oral or written, express or implied, between them, other than as herein set forth. No subsequent alteration, amendment, change or addition to this AGREEMENT shall be binding upon the PARTIES hereto unless authorized in accordance with the law and reduced in writing and signed by the PARTIES. However, whenever under the provisions of this AGREEMENT any notice or consent of the CITY or the APPLICANT is required, or the CITY or the APPLICANT is required to agree or to take some action at the request of the other, such approval or such consent of such request shall be given for the CITY, unless otherwise provided herein, by the Mayor or his designee and for the APPLICANT by the APPLICANT or any agent as the APPLICANT so authorizes.

#### ARTICLE VII NOTICES

All notices and requests required pursuant to this AGREEMENT shall be sent by certified mail as follows:

To the APPLICANT:	Yolanda Peterson
	124 Main Street
	West Chicago, IL 60185



To the CITY:

City of West Chicago  
475 Main Street  
West Chicago, Illinois 60185

or at such other addresses as either of the PARTIES may indicate in writing to the other either by personal delivery or by certified or registered mail, return receipt requested, with proof of delivery thereof.

ARTICLE VIII  
GOVERNING LAWS

This AGREEMENT shall be construed and enforced in accordance with the laws of the State of Illinois.

ARTICLE IX  
COUNTERPARTS

This AGREEMENT may be executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

IN WITNESS WHEREOF, the PARTIES hereto have set their hands and seals on the date first above written.

CITY OF WEST CHICAGO, an Illinois  
Municipal Corporation,

By: \_\_\_\_\_  
Mayor Ruben Pineda

ATTEST: \_\_\_\_\_  
City Clerk Nancy M. Smith

By: \_\_\_\_\_  
Yolanda Peterson

STATE OF ILLINOIS            )  
  )  
COUNTY OF DU PAGE        )        SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Ruben Pineda, Mayor of the City of West Chicago, and Nancy M. Smith, City Clerk, personally known to me to be the same persons whose names are set forth on the foregoing instrument as such Mayor and City Clerk respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

STATE OF ILLINOIS       )  
                                      )  
COUNTY OF DU PAGE     )       SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Yolanda Peterson, personally known to me to be the same person whose name is set forth on the foregoing instrument appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public



## EXHIBIT A

### Subject Realty Legal Description

The northerly 25.75 feet in width of Lot 5 of Warehouse Block as shown on plat of Town of Junction established by decree of the Circuit Court of DuPage County, Illinois Chancery Case 3904, in the northeast quarter of the northeast quarter of Section 9, Township 39 North, Range 9, East of the Third Principal Meridian in DuPage County, Illinois.

P.I.N.: 04-09-2040-10

## EXHIBIT B

(Insert PLANS here)



CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

COA# 20-02

DATE RECEIVED 02/25/2020

BUILDING PERMIT#

APPLICANT AND PROPERTY OWNER INFORMATION

APPLICANT'S NAME YOLANDA PETERSIN

APPLICANT'S ADDRESS

APPLICANT'S TELEPHONE NUMBER

ARE YOU THE PROPERTY OWNER? ☒ YES ☐ NO

IF SO, OWNERSHIP STATUS ☒ SOLE OWNER ☐ PARTNERSHIP  
☐ CORPORATION ☐ TRUST

ARE YOU THE TENANT? ☐ YES ☐ NO

IF SO, YEARS REMAINING ON LEASE? \_\_\_\_\_

IF YOU ARE NOT THE PROPERTY OWNER, PLEASE PROVIDE:

OWNER'S NAME \_\_\_\_\_

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

PROPERTY INFORMATION

PROPERTY ADDRESS OF PROJECT

124 MAIN ST W.C

LEGAL DESCRIPTION

BUSINESS NAME

RAISED BAKERY AND CAFE

HISTORIC BUILDING NAME



CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

PAGE 3

**FUNDING**

AMOUNT OF GRANT REQUEST	\$ 3900.
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**ITEMIZATION OF THE WORK TO BE PERFORMED TO MAKE THE NECESSARY REPAIRS**

DESCRIPTION	ESTIMATED COST
ARCHITECT	\$
AWNINGS	\$
CHIMNEY	\$
CORNICE	\$
DOORS	\$ 3900 -
FASCIA	\$
FLASHING	\$
GUTTERS	\$
LANDSCAPING	\$
LIGHTING	\$
PAINTING	\$
PORCHES/RAILINGS	\$
ROOF	\$
SIGNS	\$
SOFFIT	\$
STAIRS	\$
WALLS	\$
WINDOWS	\$
OTHER	\$
TOTAL	\$ 3900

OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02  
COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN ST W.C.

OWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME A & B Glass and Mirror

CONTRACTOR'S ADDRESS 301 W. ROOSEVELT RD W.C.

CONTRACTOR'S TELEPHONE NUMBER 620 231-2340 DATE 1/1/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL  
INFORMATION TO THIS FORM.

RELOCATE EXISTING ENTRANCE  
TO IMPROVE AND ENHANCE AESTHETICS  
AND FUNCTIONALITY.

TOTAL COST TO PERFORM ABOVE WORK \$ 2900

THIS ESTIMATE GOOD FROM 1/1/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



**A&G Glass and Mirror**

Yolanda Peterson  
124 Main St  
West Chicago, IL 60185



ESTIMATE

#57640

TOTAL

**\$2,900.00**

CONTACT US

501 West Roosevelt Road  
West Chicago, IL 60185

(630) 231-2340

agglass78@hotmail.com

ESTIMATE

**3'6 Door and sidelite**

**\$2,900.00**

1- YKK 3'6" x 7'0" narrow stile door with frame and transom, bronze anodized finish, 1 1/2 pair of butt hinges, rim panic exit device, glazed with 1" tempered bronze glass, CRL pr90 closer.

sidelite to be made of 2" x 4 1/2" bronze anodized material glazed with 1" tempered bronze glass, divided horizontally at 84" to match door, with head receptor and sill

Subtotal

**\$2,900.00**

Tax (West Chicago 8%)

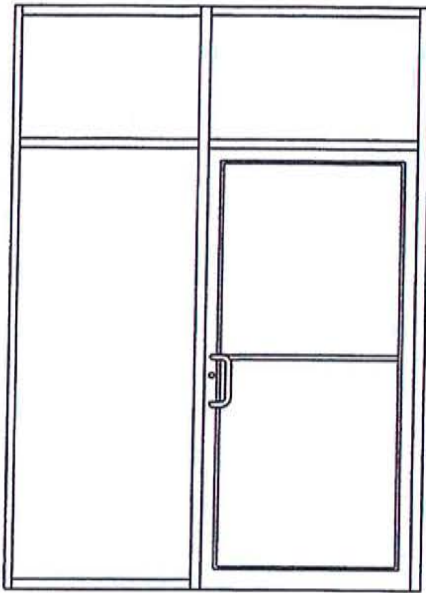
**\$0.00**

**Total**

**\$2,900.00**

Thank you for your business!





OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02 \_\_\_\_\_  
COA Approval Date 02/25/2020 \_\_\_\_\_

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN ST

OWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME REFLECTION IN GLASS

CONTRACTOR'S ADDRESS 1160 DARTON WILLOWDALE, IL

CONTRACTOR'S TELEPHONE NUMBER 707-382-1993 DATE 1/17/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL  
INFORMATION TO THIS FORM.

RELOCATE EXISTING ENTRANCE  
TO IMPROVE AND ENHANCE AESTHETICS  
AND FUNCTIONALITY.

TOTAL COST TO PERFORM ABOVE WORK \$ 7419.50

THIS ESTIMATE GOOD FROM 1/17/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



## Reflections in Glass

Install Your Glass with Class

Reflections in Glass  
1160 N Dato Ln  
Wauconda, IL 60084, USA  
sales@rigshowerdoors.com  
(847) 382-1993

Estimate #  
Date  
Total

206-2  
Fri Jan 17 2020  
7419.50

Prepared For:  
Yolanda Raised Bakery and Cafe  
124 Main Street  
West Chicago, Illinois 60185

Job Address:  
124 Main Street  
West Chicago, Illinois  
60185

Description	QTY	Price	Amount
STOREFRONTS	1.00	7700.00	7700.00
STOREFRONT FRAMES AND DOORS / 72 X 127 SPECIAL HEIGHT DOOR TO MATCH INTERMEDIARE ON SIDE OF OPENING / MEDIUM STLYE DOOR WITH FULL GEAR HINGE / CONCEALED ROD PANIC DEVISE / 1" BRONZE GLASS TO MATCH BUILDING / BRICK AND INSIDE OPENING CUT BY OTHERS			
25% SPECIAL SALE	7700.00	-0.25	1925.00
LABOR-Storefronts	1.00	1375.00	1375.00
LABOR TO INSTALL STOREFRONT FRAMES AND DOORS			
		Sub total	7150.00
		Tax	269.50
		Tax Rate	3.500%
		Total	7419.50

### Terms:

Estimates are an approximation of charges to you, and they are based on the anticipated details of the work to be done. It is possible for unexpected complications to cause some deviation from the estimate. If additional parts or labor are required you will be contacted immediately.

### Notes:



REFLECTION IN GLASS  
1190 N. Dato Lane  
Wauconda, IL 60084  
Phone 847-382-1993  
Email mealball48@aol.com

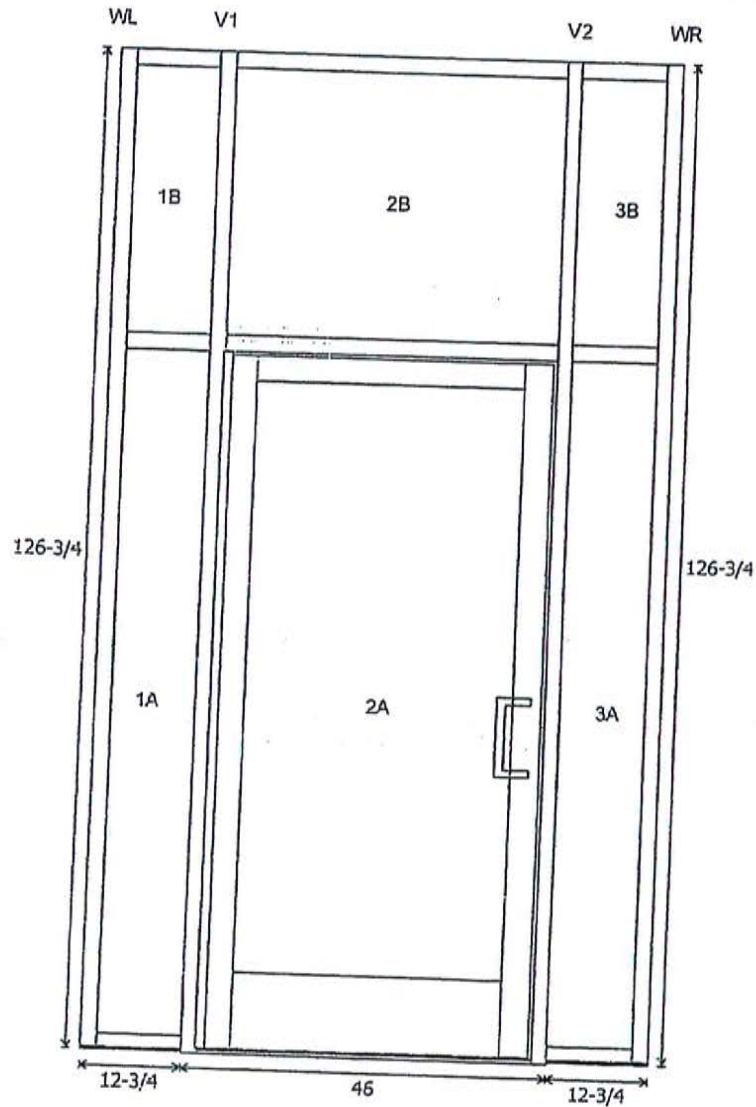
## Cutting List

YOLANDA

Customer: RAISE BAKERY  
Quantity: 1  
Date Entered: 1/17/2020

71-1/2

Plan View - All Groups



Robin Meade

Re: Reflections In Glass

Feb 4, 2020 at 5:25:51 PM

1) Falagario Builders # 847-774-9666

2) Finnegan Development # 773-934-9760

Let me know if you need anything else- Thanks!

*We have MOVED!!!*

**Our new location is:**

*1160 N Duto Drive, Wauconda, IL 60084*

*Robin Meade Office Manager*

*Reflections In Glass - ~~Reflections In Glass~~*

*American Garage Floor Systems - ~~American Garage Floor Systems~~*

*(847)382-1993 Office*

*(847)382-1994 Fax*

*robinmeade13@aol.com*

-----Original Message-----

From: Yolanda Peterson

To: Robin Meade <[robinmeade13@aol.com](mailto:robinmeade13@aol.com)>

Sent: Tue, Feb 4, 2020 2:27 pm

Subject: Re: Reflections In Glass

project references.

I'm thinking they are making sure sll is good.

I appreciate your time.

Yolanda Peterson

*On Tue, Feb 4, 2020, at 6:14 PM, Yolanda Peterson <[yolanda.peterson@yolanda.com](mailto:yolanda.peterson@yolanda.com)> wrote:*

*Hi Yolanda - Tim is out of town and told me to take care of this - What kind of references are you looking for?*

*We have MOVED!!!*

**Our new location is:**

*1160 N Duto Drive, Wauconda, IL 60084*

*Robin Meade Office Manager*

OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02  
COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN ST

OWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME TEI BOWEN CLASS

CONTRACTOR'S ADDRESS \_\_\_\_\_

CONTRACTOR'S TELEPHONE NUMBER \_\_\_\_\_ DATE \_\_\_\_\_

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL  
INFORMATION TO THIS FORM.

RENOVATE EXISTING ENTRANCE  
TO IMPROVE AND ENHANCE APPEARANCE  
AND FUNCTIONALITY.

TOTAL COST TO PERFORM ABOVE WORK \$ 5000.00

THIS ESTIMATE GOOD FROM \_\_\_\_\_ UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



DIXON BUILDERS, INC.  
847 S. RANDALL RD. #314  
ELGIN, IL 60123

YOLANDA PETERSON  
124 MAIN ST.  
WEST CHICAGO, IL  
12/27/2019

## PROPOSAL

WE HEREBY PROPOSE TO FURNISH MATERIAL AND LABOR NECESSARY FOR THE COMPLETION  
OF NEW ENTRYWAY ON SOUTH SIDE OF BUILDING

REMOVE EXISTING WINDOWS AND ALUMINUM FRAMING

CUT EXISTING BRICK WALL BELOW WINDOWS DOWN TO FLOOR LEVEL

TO THIN NEW BRICK ON EACH SIDE OF OPENING

\$2,500.00

INSTALL ALUMINUM FRAMING TO MATCH EXISTING WINDOWS

INSTALL ONE (1) NEW DOOR OUTSWING WITH NEW HARDWARE TO MATCH EXISTING

\$5,000.00

**\$2,500.00 DOWN**

**BALANCE UPON COMPLETION**

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED.

ALL WORK TO BE COMPLETED IN A PROFESSIONAL MANNER ACCORDING TO STANDARD  
PRACTICES.

DIXON BUILDERS, INC.  
847 S. RANDALL RD. #314  
ELGIN, IL 60123

YOLANDA PETERSON  
124 MAIN ST.  
WEST CHICAGO, IL  
12/27/2019

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\$5,000.00

**\$2,500.00 DOWN**

**BALANCE UPON COMPLETION**

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED.

ALL WORK TO BE COMPLETED IN A PROFESSIONAL MANNER ACCORDING TO STANDARD  
PRACTICES.

# TRI COUNTY GLASS

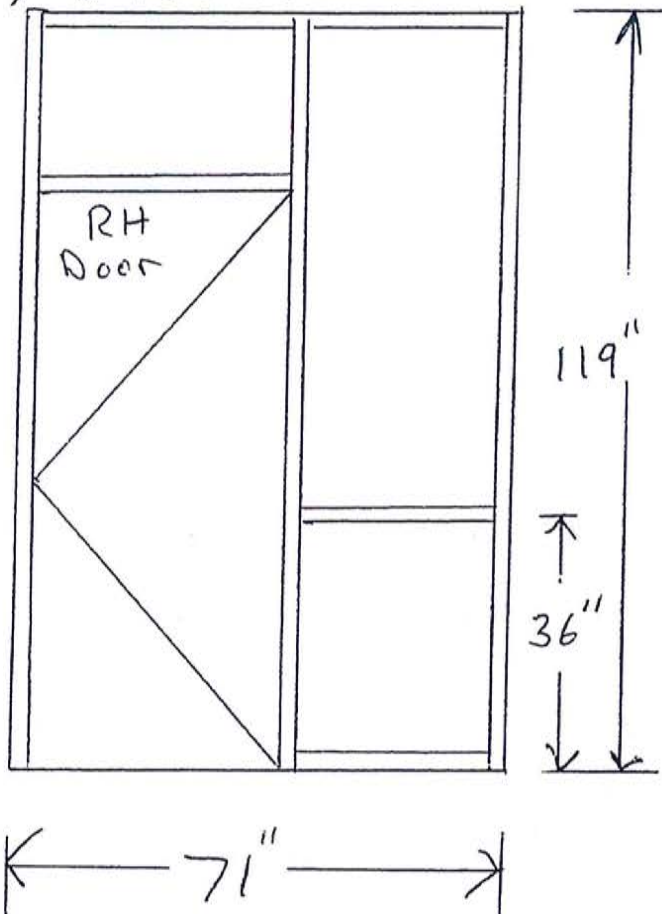
TO: Dixon Bldg 1-30-2020

Kawneer 451 Framing

1" Clear Temp. Ins. Glass

3'-0" x 7'-0" Narrow Stile "190"

Door







# CJK Masonry

13 Shermead Rd  
Montgomery, IL 60538  
Cell (630) 618-6916 Fax (630) 551-0551  
CJKMasonry@gmail.com

## Proposal

Date	Proposal #
12/16/2019	434

PO#
-----

Name / Address
Yolanda Peterson 124 Main St West Chicago, IL

Description	Qty	Rate	Total
CJK Masonry will supply the labor, material and equipment to cut and remove brick under window for installation of door.		875.00	875.00

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of

**Total** \$875.00

### ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made by cash or check upon job completion.

Signature

Signature

Date

Thank you for your business

Christopher Klima  
Re: Estimate 439 from CJK Masonry  
Feb 4, 2020 at 3:04:41 PM  
Yolanda Peterson

Contract development Corp.

Carl B Bryant (owner)

(815)405-2712

Extreme Exteriors Inc.

Brian Wofford (owner)

(630)664-6793

Amenity roofing siding & windows

Matt Woods (owner)

(630)636-9954

Anything else let me know!

Chris Klima

CJK Masonry

(630) 618-6916

On Tue, Feb 4, 2020 1:27 PM Christopher Klima <[cjk@masonry@gmail.com](mailto:cjk@masonry@gmail.com)>  
wrote:

Ok, no problem.

Chris Klima

CJK Masonry

(630) 618-6916

On Tue, Feb 4, 2020, 1:27 PM Yolanda Peterson

wrote:

Hi Chris,

## OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02  
COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAID ST  
OWNER'S NAME YOLANDA PETERSON  
OWNER'S ADDRESS [REDACTED]  
OWNER'S TELEPHONE NUMBER [REDACTED]

CONTRACTOR'S NAME HUNZINGER WILLIAMS  
CONTRACTOR'S ADDRESS 27W 980 COMMERCIAL AVE LAKE BARRINGTON, IL  
CONTRACTOR'S TELEPHONE NUMBER 847 381-1878 DATE 1/17/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.

MANUFACTURE AND INSTALL SHUTTERS ON  
BUILDING IN 2 LOCATIONS  
WITH LETTERING AND LOGO AT ADDITIONAL  
ESTIMATE COSTS OF \$300-\$400 OR MORE  
BASED ON LOGO

TOTAL COST TO PERFORM ABOVE WORK \$ 2500THIS ESTIMATE GOOD FROM 1/17/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



Hunzinger Williams, Inc.  
27W982 Commercial Av.  
Lake Barrington, IL 60010-2311

847-381-1878/1992  
Fax 847-381-2063

**PROPOSAL 17464**

Date 1-17-20

Proposal submitted

Raised Bakery

Street

124 Main St

City, State, Zip

West Chicago, IL. 60185

Job Name

Job location

Phone(s)

email

Att:

**BUDGET PROPOSAL**

We propose to manufacture and install Two (2) Slant Style Awnings with enclosed end wings and fixed valances using Sunbrella fabric in your choice of available colors. The frame will be welded construction using 1" square aluminum tubing.

\*Lettering is extra – estimated cost \$300.00 - \$400.00. Lettering application will be painted.

\*Custom Logo's subject to special quotation

Installed Cost Awnings: \$2,300.00

All taxes are included. All permits required must be obtained by you at no cost to us. Assistance will be provided.

Delivery in approximately 4 - 5 weeks from date signed proposal is received, fabric/binding color has been selected and 50% deposit is received.

Please call us if you have any questions or would like to discuss this proposal. Your salesman is Lee Ford.

**TERMS:** 50% deposit with signed proposal. The balance will be due on installation/delivery.

1. Purchaser shall have no right of recession on special order or custom made goods and shall forfeit all down payments and be fully responsible to pay the entire balance due under all circumstances.
2. When goods are not installed by Seller, Purchaser acknowledges that he has inspected said goods and accepts them as conforming to the specifications herein and they are free of any/all defects.
3. If customer requests total installation or any part of installation to be delayed for whatever reason, full payment will be due for entire contract at time of original scheduled installation.
4. Awnings purchased hereunder shall be manufactured and installed pursuant to the specifications stated herein and in accordance with industry standards.
5. Purchaser shall be solely responsible for obtaining all necessary permits and the approval of any and all government entities at purchaser's cost.
6. Any plans, drawings (weather to scale or free hand) requested by Purchaser after contract has been accepted due to changes in the design or specifications hereof, or for any reason shall be an additional charge to Purchaser based on the detail and time expended by Seller.
7. All fabrics used in the construction of awnings are water repellent but not waterproof. Wrinkles or small flaws are generally anticipated for normal fabrication and will not affect the warranty. Distortions in metal framework or minor variations in dimensions shall not affect the validity of this contract.
8. The product sold is designed to attach to building based on visible representations or information as to the construction of said building at the time of sale. In the event the product sold cannot be supported by said building due to incorrect or incomplete information, modifications to support structure will be made as necessary with the consent of Purchaser at additional cost to Purchaser.
9. **ELECTRIC WORK** - All electric work, parts, labor and components are by owner or a registered electrician. Costs are not included unless specifically noted on contract.
10. All agreements contingent upon strikes, fire, accidents, natural disaster, act of God or delays beyond our control to obtain necessary materials. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workers' Compensation Insurance.

NOTE: This proposal may be withdrawn if not accepted within 60 days.

**Acceptance of Proposal** - The above prices, specifications & conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. Late payment charges of 1.5% per month and collection charges, including reasonable legal fees and costs to be paid by customer accepting this proposal for all balances not paid within 45 days of invoice date. The signatory to this contract on behalf of Purchaser states that he has authority of the Purchaser to bind purchaser and Purchaser agrees upon acceptance of the subject goods. Customer authorizes access to and material remains the property of Hunzinger Williams, Inc. until payment is made in full.

Signature \_\_\_\_\_ date \_\_\_\_\_

Please print name \_\_\_\_\_

We proudly accept your VISA, Mastercard, American Express or Discover (circle one) Charges in excess \$2500 will incur 3%fee. Amount to charge \$ \_\_\_\_\_

Bank Card # \_\_\_\_\_ Expiration Date \_\_\_\_/\_\_\_\_/\_\_\_\_ CID # \_\_\_\_\_

hwawnings@aol.com

Re: Pro# 17464 , Rendering, Photo

Feb 5, 2020 at 6:56:12 AM

Burnt Toast  
2492 N. Randall Rd  
Algonquin, IL

Sew Hop'd Brewery  
1-Union Plaza #113  
Huntley, IL

Wauconda Paint and Glass  
104 S. Main St  
Wauconda, IL.

Jersey Mikes Subs  
1787 Richmond Rd  
McHenry, IL.

Hunzinger Williams Awning Co.  
27W982 Commercial Ave  
Lake Barrington, IL 60010-2311  
847-381-1878 fax 847-381-2063

-----Original Message-----

From: Yolanda Peterson [REDACTED]  
To: [hwawnings@aol.com](mailto:hwawnings@aol.com) <[hwawnings@aol.com](mailto:hwawnings@aol.com)>  
Sent: Tue, Feb 4, 2020 1:27 pm  
Subject: Re: Pro# 17464 , Rendering, Photo

Hi Lee,

I love all you have done.  
One more need is references. Part of the city grant program.

Thank You, Yolanda

Sent from my iPad

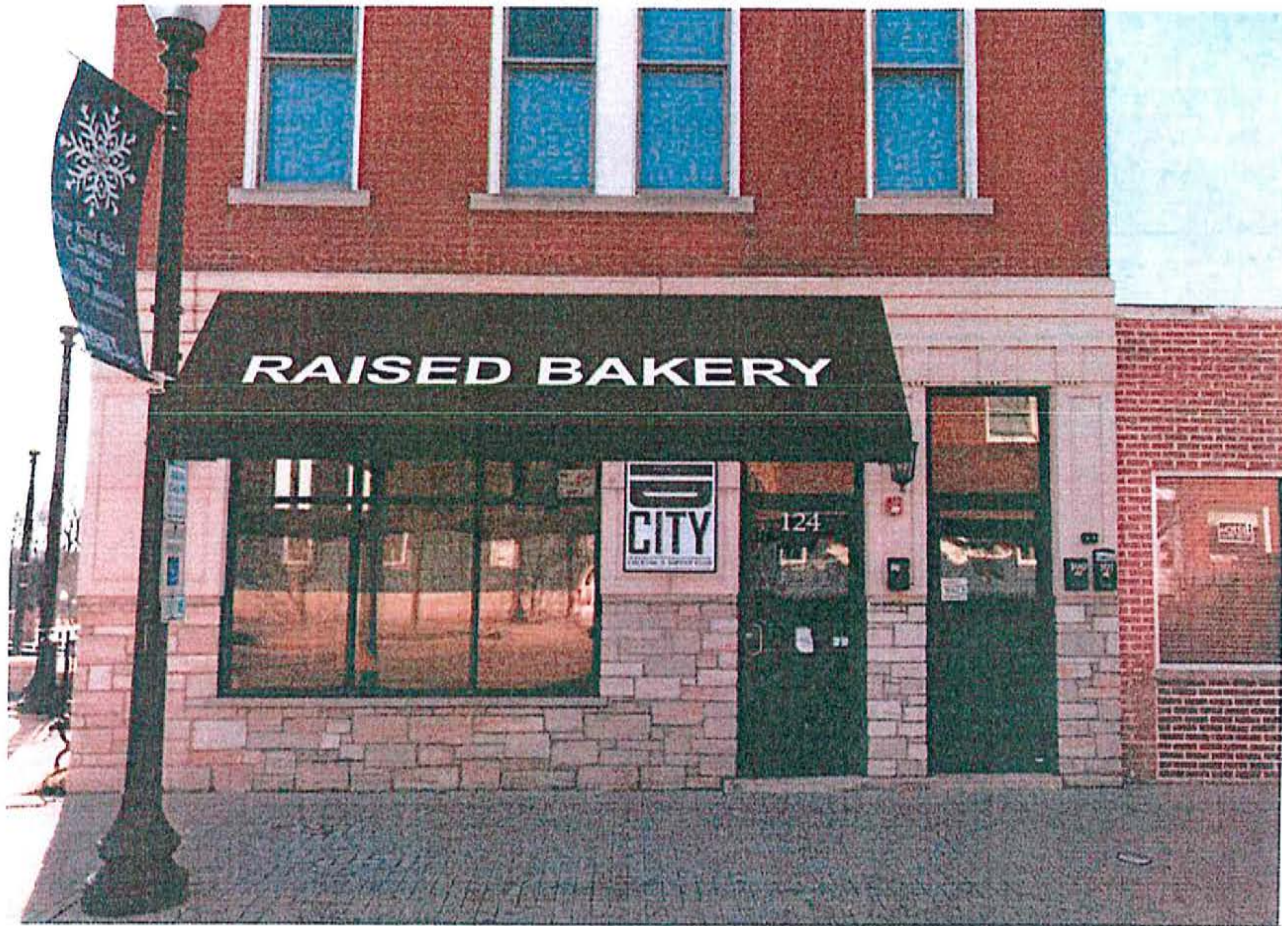
On Jan 22, 2020, at 1:56 PM, "Yolanda Peterson" <[hwawnings@aol.com](mailto:hwawnings@aol.com)> wrote:

I would recommend the enclosed end wings. The open end style exposes the silver framework and does not provide as much protection.

Let us know

Lee

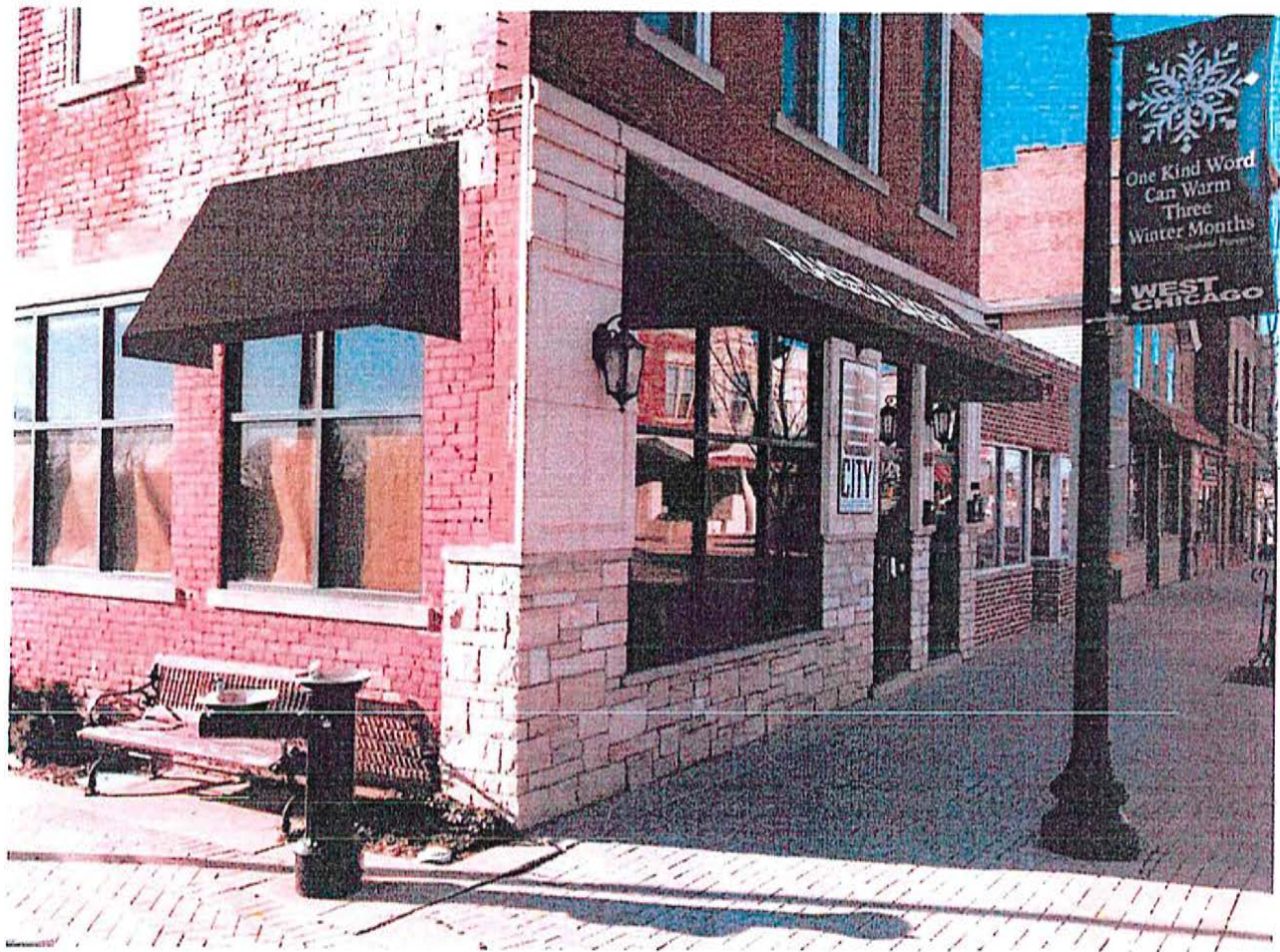




This drawing is the property of Hunzinger Williams, Inc. It is unlawful to reproduce it in any form without written permission from Hunzinger Williams Inc. This drawing is provided and intended for conceptual purposes only. The finished product may be subject to minor or necessary modifications to enable fabrication.

Approved By: \_\_\_\_\_ Date \_\_\_\_\_





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Approved By: \_\_\_\_\_ Date \_\_\_\_\_





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Approved By: \_\_\_\_\_ Date \_\_\_\_\_

## OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02  
COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 Main StOWNER'S NAME YOLANDA PETERSONOWNER'S ADDRESS [REDACTED]OWNER'S TELEPHONE NUMBER [REDACTED]CONTRACTOR'S NAME THATCHER DAKS AWNINGSCONTRACTOR'S ADDRESS 718 INDUSTRIAL DRIVE ELMHURST, IL 60126CONTRACTOR'S TELEPHONE NUMBER 630 833 5700 DATE 1/16/20DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL  
INFORMATION TO THIS FORM.MANUFACTURE AND INSTALL 2 AWNINGSTOTAL COST TO PERFORM ABOVE WORK \$ 3950<sup>00</sup>THIS ESTIMATE GOOD FROM 1/16/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



# **THATCHER OAKS**

## **AWNINGS**

718 INDUSTRIAL DRIVE

ELMHURST, IL 60126

(630) 833-5700 • Fax (630) 833-5795

CHICAGOLAND'S FULL SERVICE AWNING COMPANY  
COMMERCIAL • INDUSTRIAL  
CUSTOM DESIGNED AWNINGS & SIGNS  
CLEANING AND MAINTENANCE

### CUSTOM QUOTE FOR:

Raised Bakery & Café

124 Main St.

WEST CHICAGO, IL 60185

DATE: 1/16/2020

QUOTE #: 31820

DELIVERY:

TERMS: 50% DEPOSIT, BALANCE DUE ON COMPLETION

DESCRIPTION	AMOUNT
<p>Proposal is to manufacture and install TWO (2) traditional style awnings for Raised Bakery &amp; Café 124 Main St., West Chicago, IL 60185. The location is on the front and side elevations. The sizes are 18'-6" and 8'-0" wide, by 3'-6" high, by 5'-0" projection.</p> <p>All frames to be made of aluminum and will be completely welded. All welds will be ground smooth and primed silver. Frame finish is silver mill finish. All frames are covered by our LIFETIME TigerFrame Warranty.</p> <p>Fabric to be #4644 Charcoal Grey Sunbrella 100% Solution Dyed Acrylic, color to be confirmed. This material carries a ten (10) year warranty.</p> <p>Graphics include descriptors that will be applied using the Sunbrella Graphics system. This system utilizes heat and pressure to apply high quality SGS vinyl to the fabric.</p> <p>Price includes taxes and installation. Any permit requirement will include an additional fee.</p> <p>Thank You for your interest in Thatcher Oaks Awning Company. Sincerely, Kevin Eltoft (630) 452-1720 kevin@thatcheroaks.com</p>	<p><b>TOTAL: \$3,950.00</b></p>

It is the intent of the Seller to deliver to Buyer the products so stated in this contract, within the time frame so stated, subject to our ability to produce materials, and is subject to labor disputes, acts of God, and other delays beyond our control.

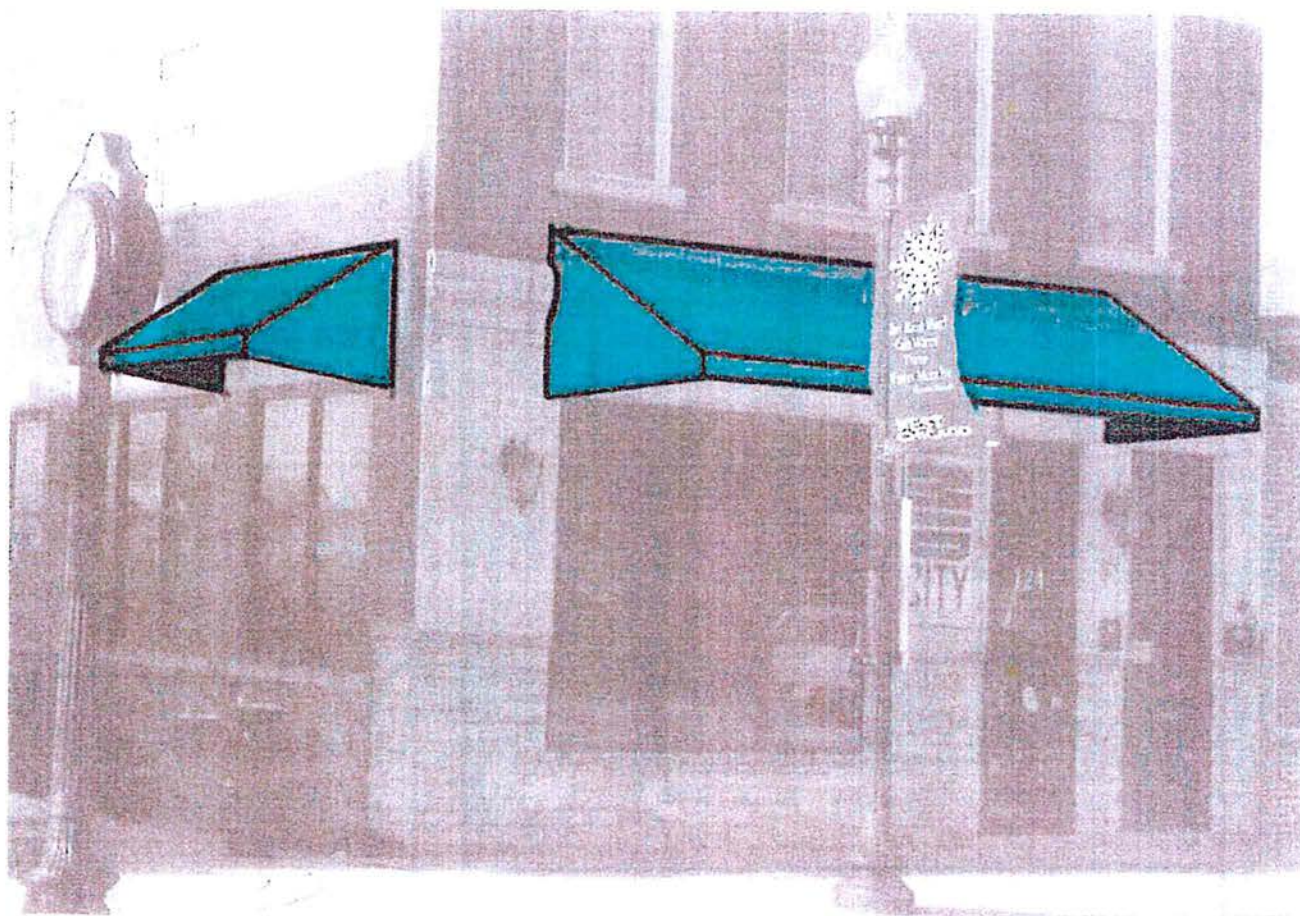
CUSTOMER DEPOSIT IS NONREFUNDABLE 5 DAYS AFTER ACCEPTANCE OF CONTRACT.

For the purpose of securing payment and performance of the obligation hereunder, Seller shall have, and Buyer hereby grants to Seller, a purchase money security interest in said property. The property and all of the apparatus, appliances, supplies, accessories and parts remain the property and security of Seller for said indebtedness until this contract is paid in full. In the event Seller has to remove property due to nonpayment, any monies paid on account shall remain the property of Seller as liquidated damages, and any reinstallation shall be subject to renegotiation.

ALL NEW INSTALLATIONS ARE GUARANTEED AGAINST DEFECTS IN MATERIAL OR WORKMANSHIP FOR THREE YEARS AFTER INSTALLATION.

ACCEPTED: \_\_\_\_\_ DATED: \_\_\_\_\_ BY: \_\_\_\_\_  
(BUYER) (SELLER)

DEPOSIT: \_\_\_\_\_ WE MAY WITHDRAW THIS PROPOSAL IF NOT ACCEPTED WITHIN \_\_\_\_ DAYS.

















## OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02  
COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN ST W C

OWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME CHESTERFIELD AWNING CO.

CONTRACTOR'S ADDRESS 16999 Van Dam Rd. South Holland IL 60473

CONTRACTOR'S TELEPHONE NUMBER 708-596-4434 DATE 1/17/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL  
INFORMATION TO THIS FORM.

MANUFACTURE AND INSTALL 2 AWNINGS

TOTAL COST TO PERFORM ABOVE WORK \$ 3597<sup>00</sup>

THIS ESTIMATE GOOD FROM 1/17/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_

## Chesterfield Awning Co.

16999 Van Dam Road South Holland, IL 60473 Website: [www.chesterfieldawning.com](http://www.chesterfieldawning.com)  
Phone (708) 596-4434 Fax: (708) 596-9469

**Yolanda Peterson**  
**124 Main St.**  
**West Chicago, IL 60185**

## CONTRACT / ESTIMATE

January 17, 2020

### Two (2) Custom Canvas Awnings Made & Installed

Includes/ Style: Straight

**Size(s):**

1 @ 20' w x 5' p x 5' d

1 @ 8' w x 5' p x 5' d

**Material:** Canvas/Vinyl - TBD

**Color: Slate/Standard – TBD**

Frame: 1" sq aluminum tubing – silver finish

**Graphics: Not Included In Cost - TBD**

Misc: Does Include: Standard Chesterfield labor + Insurance

**Does not include:** Lights, electric, bottom covers, special shop drawings, (structural eng. approved), ***or any city permits, bonds, including public way.***

**Total Price..... \$3,597.00**

**50% Down Payment ...**

**Balance due ....**

**Installation: Approx. 4 to 6 weeks upon down payment**

***Installation time subject to change depending on Delayed Graphics Approvals or Outsourced Graphics***

**Terms: 50% down, balance upon installation**

Customer \_\_\_\_\_ Date: \_\_\_\_\_ Sales: Jeremy Lopez

After the company goes into production on this merchandise, this contract cannot be canceled and the purchaser is responsible for the whole amount contracted herein. The merchandise is the property of the Chesterfield Awning Company, Inc. until the whole amount of the contract is paid in full. A service charge of 1 1/2 percent monthly will be added to any unpaid balance after 30 days from installation. This is an effective annual rate of 18 percent.

jeremy jeremy

Re: Awning Quote/124 Main St/Chesterfield Awning Company

Feb 4, 2020 at 5:03:18 PM

Yolanda Peterson

References: 1) Rijon Manufacturing - Blue Island, IL/ 708-388-3629

2) Central Foundations - Berwyn, IL/ 630-870-0079

3) Lapage Architects Ltd - Wheaton, IL/ 630-665-0006

Yolanda,

Let me know if you need more or if this is ok?

Thank you,

Jeremy

On Tue, Feb 4, 2020 at 3:36 PM Yolanda Peterson <[REDACTED]>

wrote:

both or small businesses

On Tue, Feb 4, 2020, 2:16 PM jeremy jeremy

<[jeremy@chesterfieldawning.com](mailto:jeremy@chesterfieldawning.com)> wrote:

Hello Yolanda,

Are you needing previous customer references? Or Village and Town hall references?

Thank you,

Jeremy

On Tue, Feb 4, 2020 at 4:16 PM Yolanda Peterson <[REDACTED]>

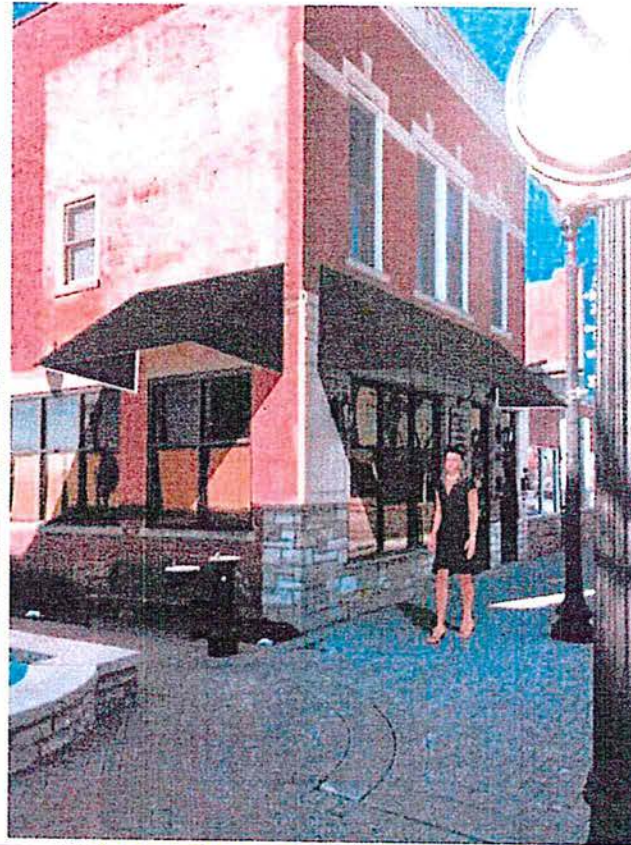
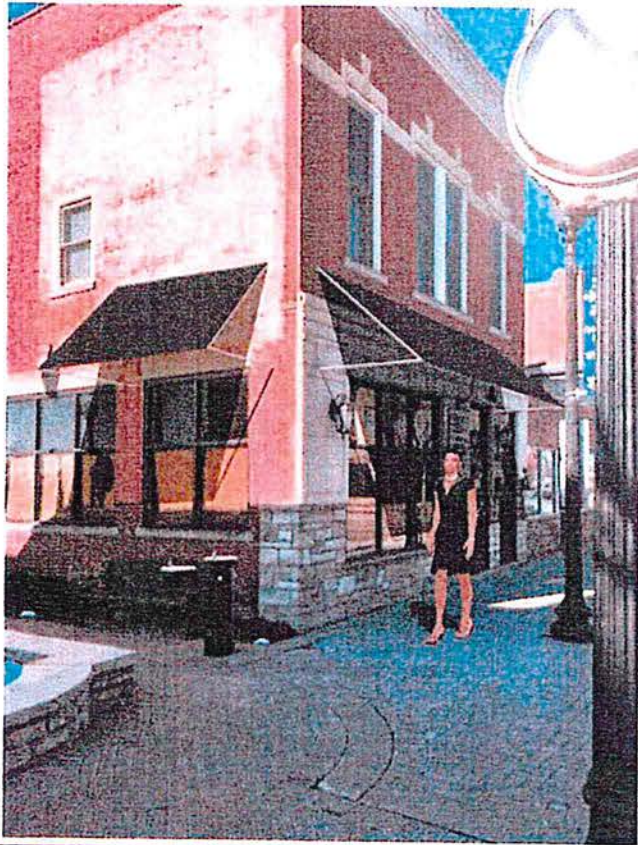
wrote:

Hi Jeremy

I appreciate you providing references for the city grant

program that they are





FILE NAME: **Peterson**  
**J.L. 01-16-2020**

Graphic Artist: **Matt Coglianese**

**PHOTO RENDERINGS  
 NOT TO BE USED AS  
 GRAPHICS APPROVAL**

**THIS DRAWING IS NOT TO SCALE**

This is an original drawing created by Chesterfield Roofing Company, Inc. It is being submitted for your personal use in connection with a project being planned for you by Chesterfield Roofing Company, Inc. It is not to be used, reproduced, copied or exhibited in any fashion. In the event any of the above occurs, Chesterfield Roofing Company, Inc. accepts no responsibility and shall not be responsible for the time and effort involved in creating this drawing.

# Job Error Report

07/16/2020 15:33:20

JOB DATA ZIP FILE IS CORRUPTED!



**CITY OF WEST CHICAGO**  
**APPLICATION FOR FACADE IMPROVEMENT PROGRAM**

COA# 20-02

DATE RECEIVED 02/25/2020

BUILDING PERMIT# \_\_\_\_\_

**APPLICANT AND PROPERTY OWNER INFORMATION**

APPLICANT'S NAME YOLANDA PETERSIN

APPLICANT'S ADDRESS \_\_\_\_\_

APPLICANT'S TELEPHONE NUMBER \_\_\_\_\_

ARE YOU THE PROPERTY OWNER? ☒ YES ☐ NO

IF SO, OWNERSHIP STATUS ☒ SOLE OWNER ☐ PARTNERSHIP  
☐ CORPORATION ☐ TRUST

ARE YOU THE TENANT? ☐ YES ☐ NO

IF SO, YEARS REMAINING ON LEASE? \_\_\_\_\_

IF YOU ARE NOT THE PROPERTY OWNER, PLEASE PROVIDE:

OWNER'S NAME \_\_\_\_\_

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

**PROPERTY INFORMATION**

PROPERTY ADDRESS OF PROJECT

124 MAIN ST W.C

LEGAL DESCRIPTION

BUSINESS NAME

RAISED BAKERY AND CAFE

HISTORIC BUILDING NAME



CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

PAGE 3

**FUNDING**

AMOUNT OF GRANT REQUEST	\$ 3900.
-------------------------	----------

**ITEMIZATION OF THE WORK TO BE PERFORMED TO MAKE THE NECESSARY REPAIRS**

DESCRIPTION	ESTIMATED COST
ARCHITECT	\$
AWNINGS	\$
CHIMNEY	\$
CORNICE	\$
DOORS	\$ 3900 -
FASCIA	\$
FLASHING	\$
GUTTERS	\$
LANDSCAPING	\$
LIGHTING	\$
PAINTING	\$
PORCHES/RAILINGS	\$
ROOF	\$
SIGNS	\$
SOFFIT	\$
STAIRS	\$
WALLS	\$
WINDOWS	\$
OTHER	\$
TOTAL	\$ 3900

OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_

COA # 20-02

COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN ST W.C.

OWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME A & B Glass and Mirror

CONTRACTOR'S ADDRESS 301 W. ROOSEVELT RD W.C.

CONTRACTOR'S TELEPHONE NUMBER 620 234-2340 DATE 7/1/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.

RELOCATE EXISTING ENTRANCE  
TO IMPROVE AND ENHANCE AESTHETICS  
AND FUNCTIONALITY.

TOTAL COST TO PERFORM ABOVE WORK \$ 2900

THIS ESTIMATE GOOD FROM 7/1/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



**A&G Glass and Mirror**

Yolanda Peterson  
124 Main St  
West Chicago, IL 60185



ESTIMATE

#57640

TOTAL

**\$2,900.00**

CONTACT US

501 West Roosevelt Road  
West Chicago, IL 60185

(630) 231-2340  
agglass78@hotmail.com

## ESTIMATE

### 3'6 Door and sidelite

**\$2,900.00**

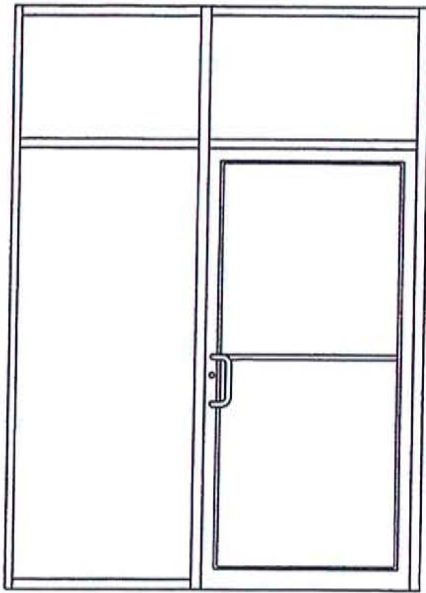
1- YKK 3'6" x 7'0" narrow stile door with frame and transom, bronze anodized finish, 1 1/2 pair of butt hinges, rim panic exit device, glazed with 1" tempered bronze glass. CRL pr90 closer.

sidelite to be made of 2" x 4 1/2" bronze anodized material glazed with 1" tempered bronze glass, divided horizontally at 64" to match door, with head receptor and sill

Subtotal	\$2,900.00
Tax (West Chicago 8%)	\$0.00
<b>Total</b>	<b>\$2,900.00</b>

Thank you for your business!





OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02 \_\_\_\_\_  
COA Approval Date 02/25/2020 \_\_\_\_\_

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN ST

OWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS [REDACTED]

OWNER'S TELEPHONE NUMBER [REDACTED]

CONTRACTOR'S NAME REFLECTION IN GLASS

CONTRACTOR'S ADDRESS 1160 DARTON WILCOXDA, IL

CONTRACTOR'S TELEPHONE NUMBER 347-382-1993 DATE 1/17/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.

RELOCATE EXISTING ENTRANCE  
TO IMPROVE AND ENHANCE AESTHETICS  
AND FUNCTIONALITY.

TOTAL COST TO PERFORM ABOVE WORK \$ 7419.50

THIS ESTIMATE GOOD FROM 1/17/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



## Reflections in Glass

Install Your Glass with Class

Reflections in Glass  
1160 N Dato Ln  
Wauconda, IL 60084, USA  
sales@rigshowerdoors.com  
(847) 382-1993

Estimate #	206-2
Date	Fri Jan 17 2020
Total	7419.50

Prepared For:  
Yolanda Raised Bakery and Cafe  
124 Main Street  
West Chicago, Illinois 60185

Job Address:  
124 Main Street  
West Chicago, Illinois  
60185

Description	QTY	Price	Amount
STOREFRONTS STOREFRONT FRAMES AND DOORS / 72 X 127 SPECIAL HEIGHT DOOR TO MATCH INTERMEDIARE ON SIDE OF OPENING / MEDIUM STLYE DOOR WITH FULL GEAR HINGE / CONCEALED ROD PANIC DEVISE / 1" BRONZE GLASS TO MATCH BUILDING / BRICK AND INSIDE OPENING CUT BY OTHERS	1.00	7700.00	7700.00
35% SPECIAL SALE	7700.00	-0.25	-
			1925.00
LABOR-Storefronts LABOR TO INSTALL STOREFRONT FRAMES AND DOORS	1.00	1375.00	1375.00
Sub total			7150.00
Tax			269.50
Tax Rate			3.500%
Total			7419.50

### Terms:

Estimates are an approximation of charges to you, and they are based on the anticipated details of the work to be done. It is possible for unexpected complications to cause some deviation from the estimate. If additional parts or labor are required you will be contacted immediately.

### Notes:



REFLECTION IN GLASS  
1190 N. Dato Lane  
Wauconda, IL 60084  
Phone 847-382-1993  
Email meatball48@aol.com

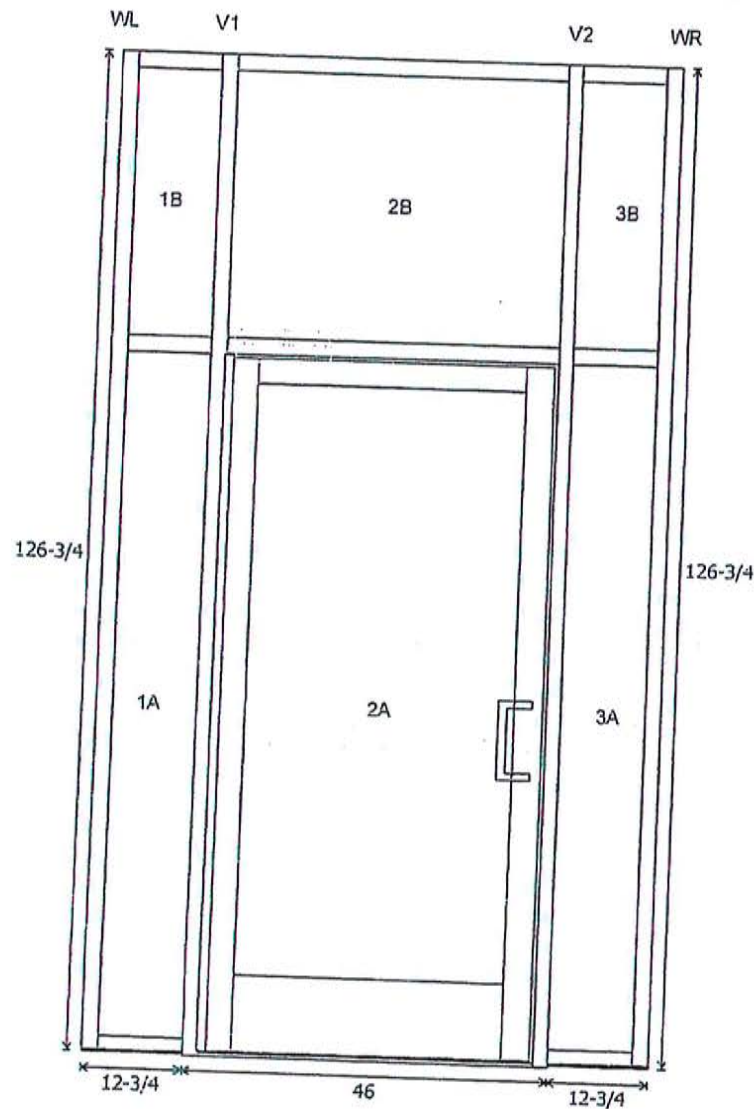
## Cutting List

YOLANDA

Customer: RAISE BAKERY  
Quantity: 1  
Date Entered: 1/17/2020

71-1/2

Plan View - All Groups



Robin Meade  
Re: Reflections In Glass  
Feb 4, 2020 at 5:25:51 PM  
[REDACTED]

- 1) Falagario Builders # 847-774-9666
- 2) Finnegan Development # 773-934-9760

Let me know if you need anything else- Thanks!

*We have MOVED!!!*

**Our new location is:**  
*1160 N Data Drive, Wauconda, IL 60084*

*Robin Meade Office Manager  
Reflections In Glass - ~~ReflectionsInGlass.com~~  
American Garage Floor Systems - ~~americanaggarage.com~~  
(847)382-1993 Office  
(847)382-1994 Fax  
robinmeade13@aol.com*

-----Original Message-----

From: Yolanda Peterson [REDACTED]  
To: Robin Meade <[robinmeade13@aol.com](mailto:robinmeade13@aol.com)>  
Sent: Tue, Feb 4, 2020 2:27 pm  
Subject: Re: Reflections In Glass

project references.  
I'm thinking they are making sure sll is good.  
I appreciate your time.

Yolanda Peterson

*On Tue, Feb 4, 2020, 2:16 PM Yolanda Peterson <[yolanda.peterson13@aol.com](mailto:yolanda.peterson13@aol.com)> wrote:  
Hi Yolanda - Tim is out of town and told me to take care of this - What kind of references are you looking for?*

*We have MOVED!!!*

**Our new location is:**  
*1160 N Data Drive, Wauconda, IL 60084*

*Robin Meade Office Manager*

OFFICIAL USE ONLY	
Building Permit #	_____
COA #	20-02
COA Approval Date	02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN ST

OWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS [REDACTED]

OWNER'S TELEPHONE NUMBER [REDACTED]

CONTRACTOR'S NAME TEL BOWEN GLASS

CONTRACTOR'S ADDRESS \_\_\_\_\_

CONTRACTOR'S TELEPHONE NUMBER \_\_\_\_\_ DATE \_\_\_\_\_

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL  
INFORMATION TO THIS FORM.

RELOCATE EXISTING ENTRANCE  
TO IMPROVE AND ENHANCE APPEARANCE  
AND FUNCTIONALITY.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TOTAL COST TO PERFORM ABOVE WORK \$ 5000.00

THIS ESTIMATE GOOD FROM \_\_\_\_\_ UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



DIXON BUILDERS, INC.  
847 S. RANDALL RD. #314  
ELGIN, IL 60123

YOLANDA PETERSON  
124 MAIN ST.  
WEST CHICAGO, IL  
12/27/2019

## PROPOSAL

WE HEREBY PROPOSE TO FURNISH MATERIAL AND LABOR NECESSARY FOR THE COMPLETION  
OF NEW ENTRYWAY ON SOUTH SIDE OF BUILDING

REMOVE EXISTING WINDOWS AND ALUMINUM FRAMING

CUT EXISTING BRICK WALL BELOW WINDOWS DOWN TO FLOOR LEVEL

TO THIN NEW BRICK ON EACH SIDE OF OPENING

\$2,500.00

INSTALL ALUMINUM FRAMING TO MATCH EXISTING WINDOWS

INSTALL ONE (1) NEW DOOR OUTSWING WITH NEW HARDWARE TO MATCH EXISTING

\$5,000.00

**\$2,500.00 DOWN**

**BALANCE UPON COMPLETION**

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED.

ALL WORK TO BE COMPLETED IN A PROFESSIONAL MANNER ACCORDING TO STANDARD  
PRACTICES.

DIXON BUILDERS, INC.  
847 S. RANDALL RD. #314  
ELGIN, IL 60123

YOLANDA PETERSON  
124 MAIN ST.  
WEST CHICAGO, IL  
12/27/2019

## PROPOSAL

WE HEREBY PROPOSE TO FURNISH MATERIAL AND LABOR NECESSARY FOR THE COMPLETION  
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INSTALL ALUMINUM FRAMING TO MATCH EXISTING WINDOWS  
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\$5,000.00

**\$2,500.00 DOWN**

**BALANCE UPON COMPLETION**

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED.

ALL WORK TO BE COMPLETED IN A PROFESSIONAL MANNER ACCORDING TO STANDARD  
PRACTICES.

# TRI COUNTY GLASS

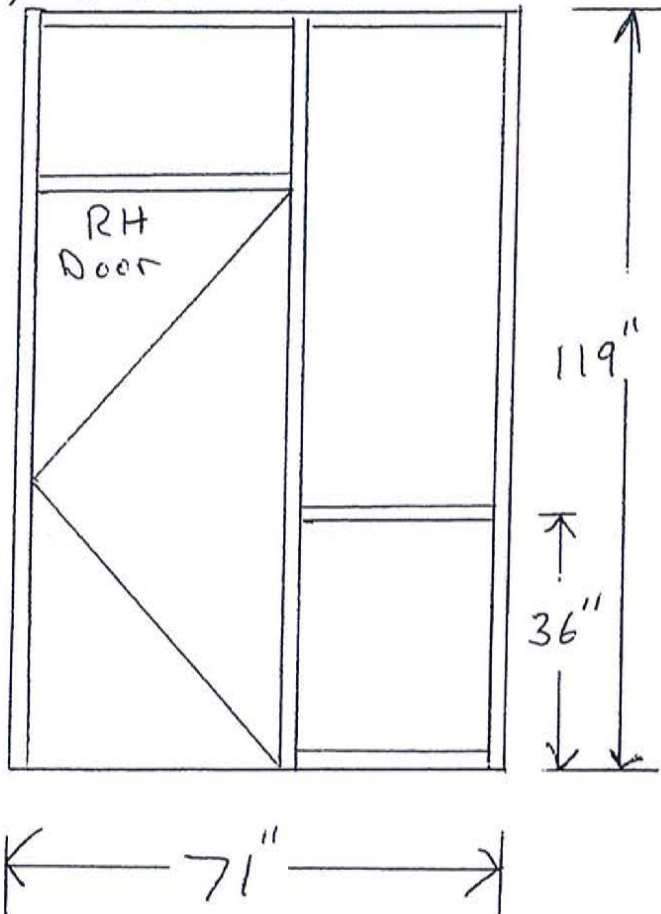
TO: Dixon Bldg 1-30-2020

Kawneer 451 Framing

1" Clear Temp. Ins. Glass

3'-0" x 7'-0" Narrow Stile "190"

Door







# CJK Masonry

13 Shermead Rd  
Montgomery, IL 60538  
Cell (630) 618-6916 Fax (630) 551-0551  
CJKMasonry@gmail.com

## Proposal

Date	Proposal #
12/16/2019	434

PO#

Name / Address
Yolanda Peterson 124 Main St West Chicago, IL

Description	Qty	Rate	Total
CJK Masonry will supply the labor, material and equipment to cut and remove brick under window for installation of door.		875.00	875.00

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of

**Total** \$875.00

### ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made by cash or check upon job completion.

Signature

Signature

Date

Thank you for your business

Christopher Klima  
Re: Estimate 439 from CJK Masonry  
Feb 4, 2020 at 3:04:41 PM  
Yolanda Peterson

Contract development Corp.  
Carl B Bryant (owner)  
(815)405-2712

Extreme Exteriors Inc.  
Brian Wofford (owner)  
(630)664-6793

Amenity roofing siding & windows  
Matt Woods (owner)  
(630)636-9954

Anything else let me know!

Chris Klima  
CJK Masonry  
(630) 618-6916

On Tue, Feb 4, 2020, 3:27 PM Christopher Klima <cjk@masonry@gmail.com>  
wrote:

Ok, no problem.

Chris Klima  
CJK Masonry  
(630) 618-6916

On Tue, Feb 4, 2020, 3:27 PM Yolanda Peterson <yolanda.peterson@contractdevelopmentcorp.com>  
wrote:

Hi Chris,  
I have a few questions about the estimate.

## OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02  
COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN STOWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME HUNZINGER WILLIAMSCONTRACTOR'S ADDRESS 27W 982 COMMERCIAL AVE LAKE BARRINGTON, ILCONTRACTOR'S TELEPHONE NUMBER 847 381-1878 DATE 1/17/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.

MANUFACTURE  
AND INSTALL 2 AWNINGS ON  
BUILDING IN 2 LOCATIONS  
WITH LETTERING AND LOGO AT ADDITIONAL  
ESTIMATE COSTS OF \$300-\$400 OR MORE  
BASED ON LOGO

TOTAL COST TO PERFORM ABOVE WORK \$ 2800THIS ESTIMATE GOOD FROM 1/17/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



Hunzinger Williams, Inc.  
27W982 Commercial Av.  
Lake Barrington, IL 60010-2311

847-381-1878/1992  
Fax 847-381-2063

**PROPOSAL 17464**

Date 1-17-20

Proposal submitted

Raised Bakery

Street

124 Main St

City, State, Zip

West Chicago, IL. 60185

Job Name

Job location

Phone(s)

email

Att:

**BUDGET PROPOSAL**

We propose to manufacture and install Two (2) Slant Style Awnings with enclosed end wings and fixed valances using Sunbrella fabric in your choice of available colors. The frame will be welded construction using 1" square aluminum tubing.

\*Lettering is extra – estimated cost \$300.00 - \$400.00. Lettering application will be painted.

\*Custom Logo's subject to special quotation

Installed Cost Awnings: \$2,300.00

All taxes are included. All permits required must be obtained by you at no cost to us. Assistance will be provided.

Delivery in approximately 4 - 5 weeks from date signed proposal is received, fabric/binding color has been selected and 50% deposit is received.

Please call us if you have any questions or would like to discuss this proposal. Your salesman is Lee Ford.

**TERMS: 50% deposit with signed proposal. The balance will be due on installation/delivery.**

1. Purchaser shall have no right of recession on special order or custom made goods and shall forfeit all down payments and be fully responsible to pay the entire balance due under all circumstances.
2. When goods are not installed by Seller, Purchaser acknowledges that he has inspected said goods and accepts them as conforming to the specifications herein and they are free of any/all defects.
3. If customer requests total installation or any part of installation to be delayed for whatever reason, full payment will be due for entire contract at time of original scheduled installation.
4. Awnings purchased hereunder shall be manufactured and installed pursuant to the specifications stated herein and in accordance with industry standards.
5. Purchaser shall be solely responsible for obtaining all necessary permits and the approval of any and all government entities at purchaser's cost.
6. Any plans, drawings (weather to scale or free hand) requested by Purchaser after contract has been accepted due to changes in the design or specifications hereof, or for any reason shall be an additional charge to Purchaser based on the detail and time expended by Seller.
7. All fabrics used in the construction of awnings are water repellent but not waterproof. Wrinkles or small flaws are generally anticipated for normal fabrication and will not affect the warranty. Distortions in metal framework or minor variations in dimensions shall not affect the validity of this contract.
8. The product sold is designed to attach to building based on visible representations or information as to the construction of said building at the time of sale. In the event the product sold cannot be supported by said building due to incorrect or incomplete information, modifications to support structure will be made as necessary with the consent of Purchaser at additional cost to Purchaser.
9. ELECTRIC WORK - All electric work, parts, labor and components are by owner or a registered electrician. Costs are not included unless specifically noted on contract.
10. All agreements contingent upon strikes, fire, accidents, natural disaster, act of God or delays beyond our control to obtain necessary materials. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workers' Compensation Insurance.

NOTE: This proposal may be withdrawn if not accepted within 60 days. \\_\\_\\_\

**Acceptance of Proposal** - The above prices, specifications & conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. Late payment charges of 1.5% per month and collection charges, including reasonable legal fees and costs to be paid by customer accepting this proposal for all balances not paid within 45 days of invoice date. The signatory to this contract on behalf of Purchaser states that he has authority of the Purchaser to bind purchaser and Purchaser agrees upon acceptance of the subject goods. Customer authorizes access to and material remains the property of Hunzinger Williams, Inc. until payment is made in full.

Signature \_\_\_\_\_ date \_\_\_\_\_

Please print name \_\_\_\_\_

We proudly accept your VISA, Mastercard, American Express or Discover (circle one) Charges in excess \$2500 will incur 3% fee. Amount to charge \$ \_\_\_\_\_

Bank Card # \_\_\_\_\_ Expiration Date \_\_\_\_/\_\_\_\_/\_\_\_\_ CID # \_\_\_\_\_

hwawnings@aol.com

Re: Pro# 17464 , Rendering, Photo

Feb 5, 2020 at 6:56:12 AM

Burnt Toast  
2492 N. Randall Rd  
Algonquin, IL

Sew Hop'd Brewery  
1-Union Plaza #113  
Huntley, IL

Wauconda Paint and Glass  
104 S. Main St  
Wauconda, IL.

Jersey Mikes Subs  
1787 Richmond Rd  
McHenry, IL.

Hunzinger Williams Awning Co.  
27W982 Commercial Ave  
Lake Barrington, IL 60010-2311  
847-381-1878 fax 847-381-2063

-----Original Message-----

From: Yolanda Peterson [REDACTED]  
To: [hwawnings@aol.com](mailto:hwawnings@aol.com) <[hwawnings@aol.com](mailto:hwawnings@aol.com)>  
Sent: Tue, Feb 4, 2020 1:27 pm  
Subject: Re: Pro# 17464 , Rendering, Photo

Hi Lee,

I love all you have done.  
One more need is references. Part of the city grant program.

Thank You, Yolanda

Sent from my iPad

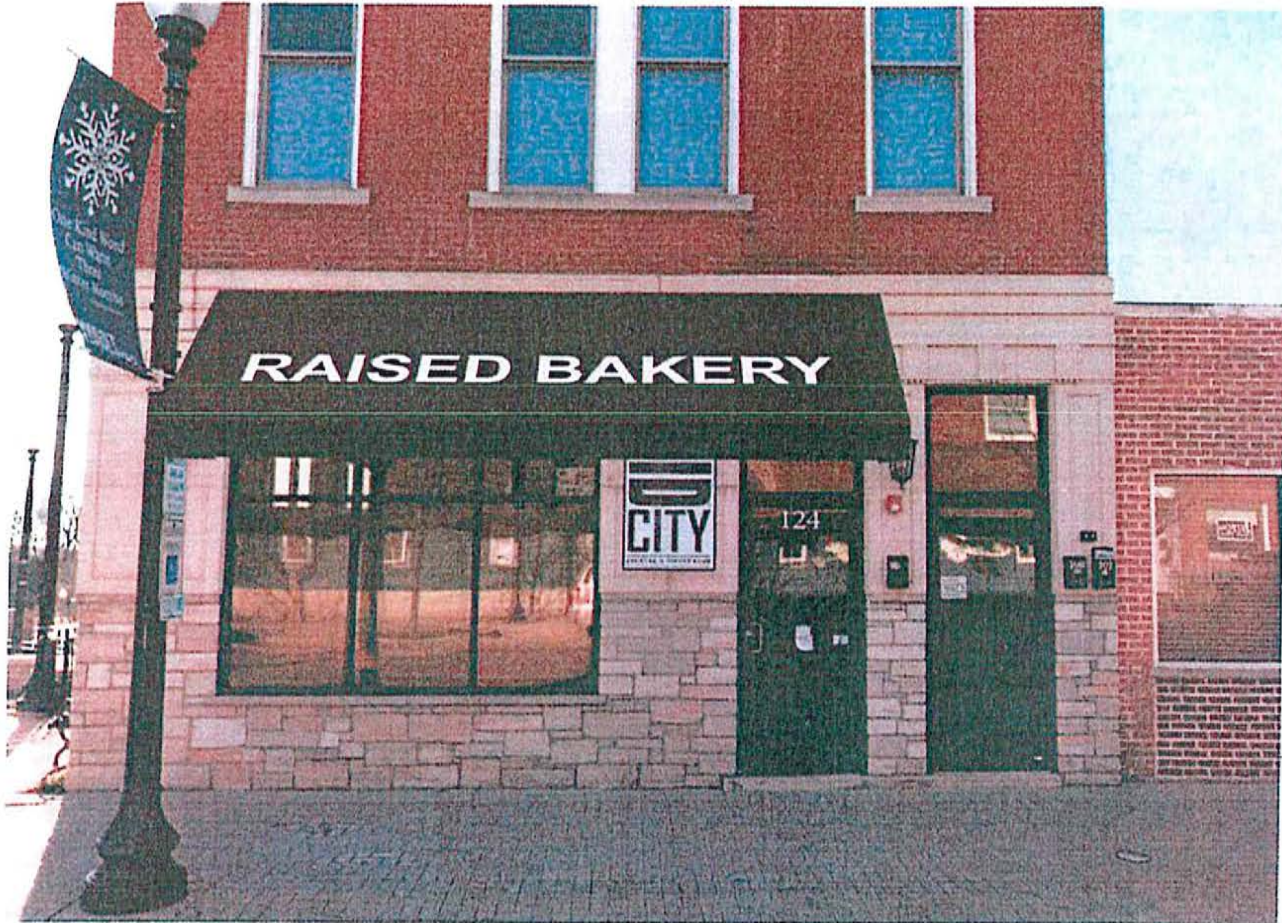
On Jan 23, 2020, at 4:53 pm, "Yolanda Peterson" <[hwawnings@aol.com](mailto:hwawnings@aol.com)> wrote:

I would recommend the enclosed end wings. The open end style exposes the silver framework and does not provide as much protection.

Let us know

Lee

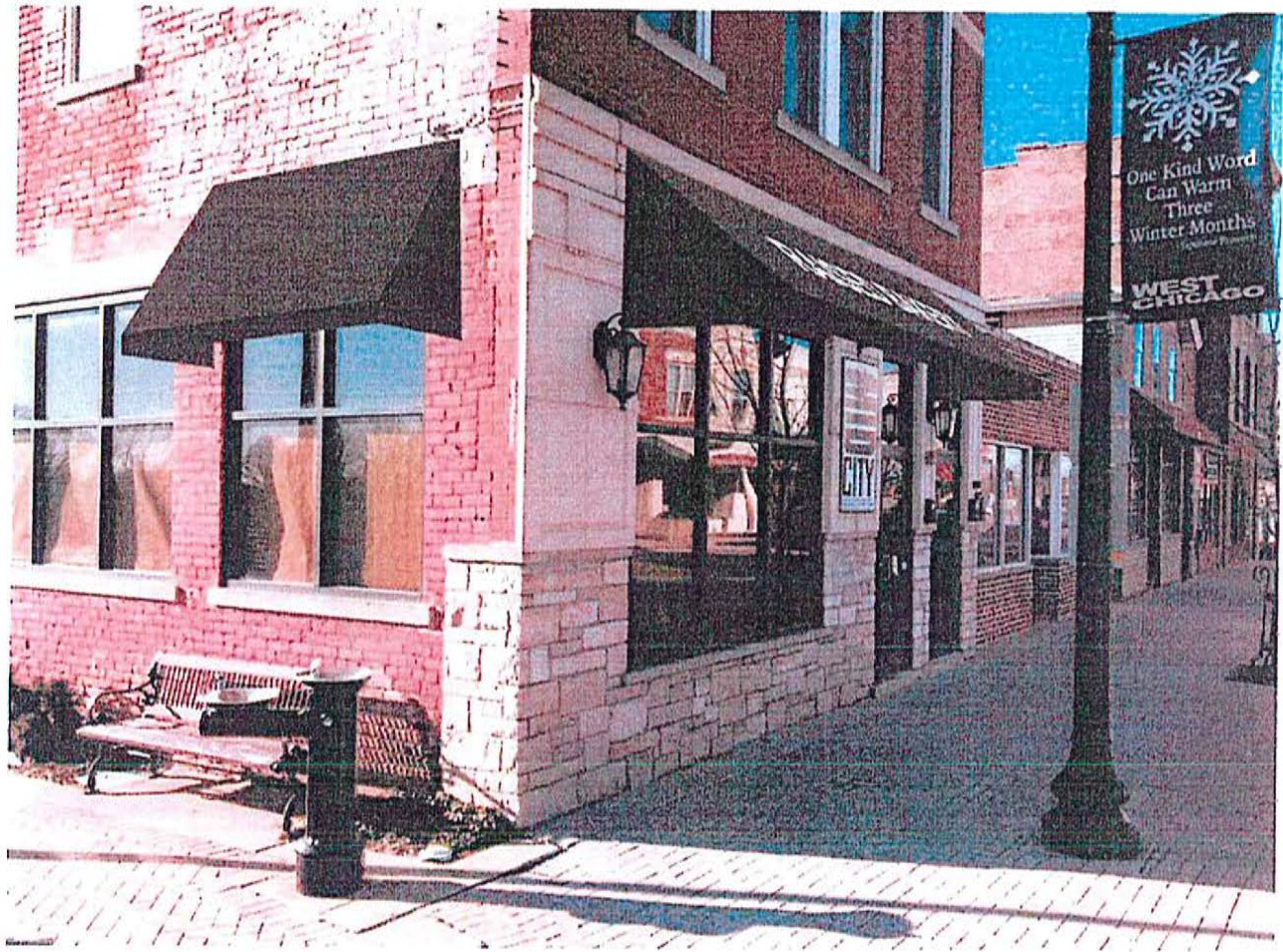




This drawing is the property of Hunzinger Williams, Inc. It is unlawful to reproduce it in any form without written permission from Hunzinger Williams Inc. This drawing is provided and intended for conceptual purposes only. The finished product may be subject to minor or necessary modifications to enable fabrication.

Approved By: \_\_\_\_\_ Date \_\_\_\_\_





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Approved By: \_\_\_\_\_ Date \_\_\_\_\_





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Approved By: \_\_\_\_\_ Date \_\_\_\_\_

OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02  
COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 Main St

OWNER'S NAME YOLANDA PETERSON

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

CONTRACTOR'S NAME THATCHER OAKS AWNINGS

CONTRACTOR'S ADDRESS 718 INDUSTRIAL DRIVE ELKHART, IN 46012

CONTRACTOR'S TELEPHONE NUMBER 630 833 5700 DATE 1/16/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL INFORMATION TO THIS FORM.

MANUFACTURE AND INSTALL 2 AWNINGS

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

TOTAL COST TO PERFORM ABOVE WORK \$ 3950<sup>00</sup>

THIS ESTIMATE GOOD FROM 1/16/20 UNTIL \_\_\_\_\_

CONTRACTOR'S SIGNATURE \_\_\_\_\_



# **THATCHER OAKS**

## **AWNINGS**

718 INDUSTRIAL DRIVE  
ELMHURST, IL 60126

(630) 833-5700 • Fax (630) 833-5795

CHICAGOLAND'S FULL SERVICE AWNING COMPANY  
COMMERCIAL • INDUSTRIAL  
CUSTOM DESIGNED AWNINGS & SIGNS  
CLEANING AND MAINTENANCE

**CUSTOM QUOTE FOR:**

Raised Bakery & Café

124 Main St.

WEST CHICAGO, IL 60185

DATE: 1/16/2020

QUOTE #: 31820

DELIVERY:

TERMS: 50% DEPOSIT, BALANCE DUE ON COMPLETION

DESCRIPTION	AMOUNT
<p>Proposal is to manufacture and install TWO (2) traditional style awnings for Raised Bakery &amp; Café 124 Main St., West Chicago, IL 60185. The location is on the front and side elevations. The sizes are 18'-6" and 8'-0" wide, by 3'-6" high, by 5'-0" projection.</p> <p>All frames to be made of aluminum and will be completely welded. All welds will be ground smooth and primed silver. Frame finish is silver mill finish. All frames are covered by our LIFETIME TigerFrame Warranty.</p> <p>Fabric to be #4644 Charcoal Grey Sunbrella 100% Solution Dyed Acrylic, color to be confirmed. This material carries a ten (10) year warranty.</p> <p>Graphics include descriptors that will be applied using the Sunbrella Graphics system. This system utilizes heat and pressure to apply high quality SGS vinyl to the fabric.</p> <p>Price includes taxes and installation. Any permit requirement will include an additional fee.</p> <p>Thank You for your interest in Thatcher Oaks Awning Company. Sincerely, Kevin Eltoft (630) 452-1720 kevin@thatcheroaks.com</p>	<p><b>TOTAL:</b> \$3,950.00</p>

It is the intent of the Seller to deliver to Buyer the products so stated in this contract, within the time frame so stated, subject to our ability to produce materials, and is subject to labor disputes, acts of God, and other delays beyond our control.

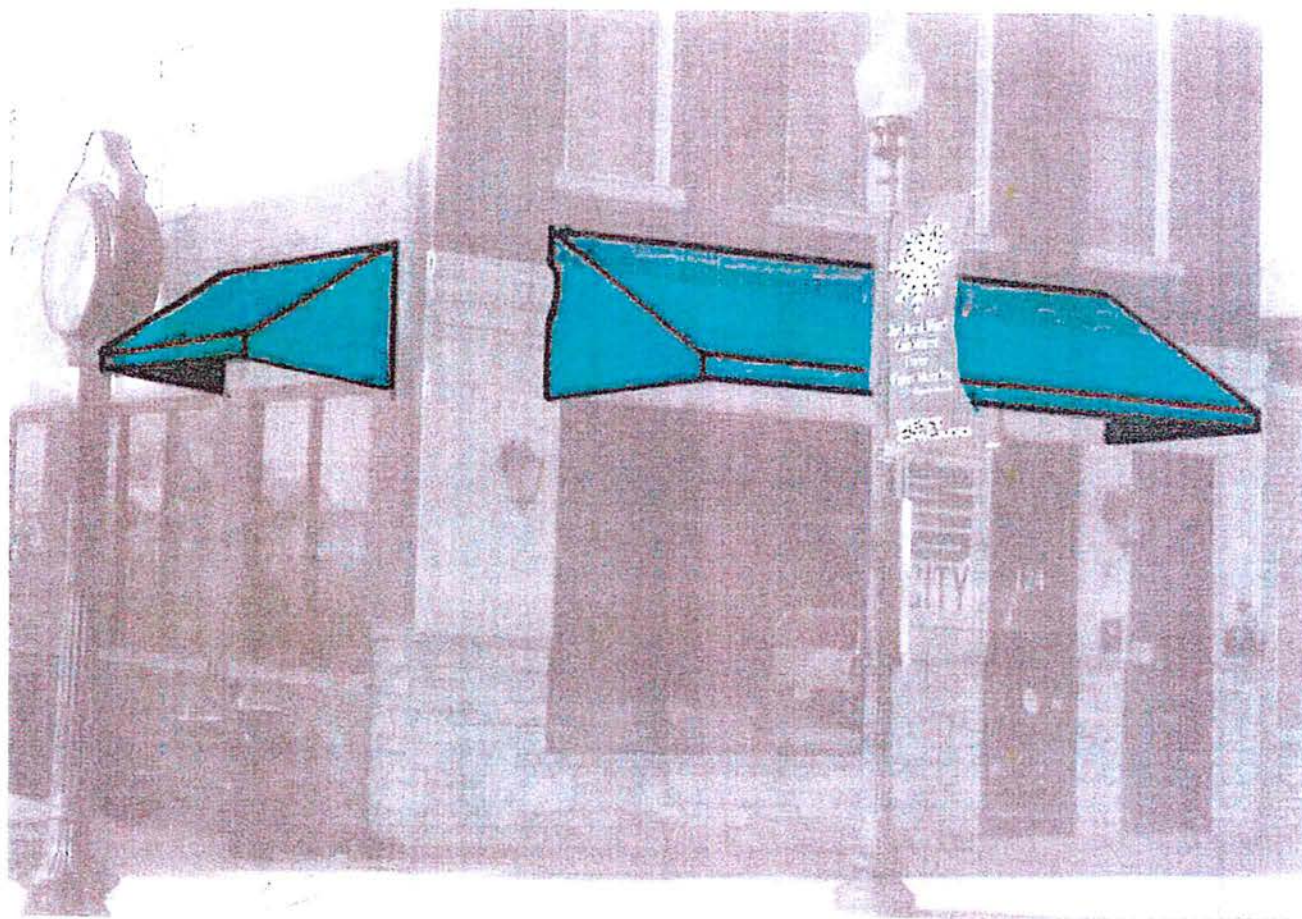
CUSTOMER DEPOSIT IS NONREFUNDABLE 5 DAYS AFTER ACCEPTANCE OF CONTRACT.

For the purpose of securing payment and performance of the obligation hereunder, Seller shall have, and Buyer hereby grants to Seller, a purchase money security interest in said property. The property and all of the apparatus, appliances, supplies, accessories and parts remain the property and security of Seller for said indebtedness until this contract is paid in full. In the event Seller has to remove property due to nonpayment, any monies paid on account shall remain the property of Seller as liquidated damages, and any reinstallation shall be subject to renegotiation.

ALL NEW INSTALLATIONS ARE GUARANTEED AGAINST DEFECTS IN MATERIAL OR WORKMANSHIP FOR THREE YEARS AFTER INSTALLATION.

ACCEPTED: \_\_\_\_\_ DATED: \_\_\_\_\_ BY: \_\_\_\_\_  
(BUYER) (SELLER)

DEPOSIT: \_\_\_\_\_ WE MAY WITHDRAW THIS PROPOSAL IF NOT ACCEPTED WITHIN \_\_\_\_ DAYS.



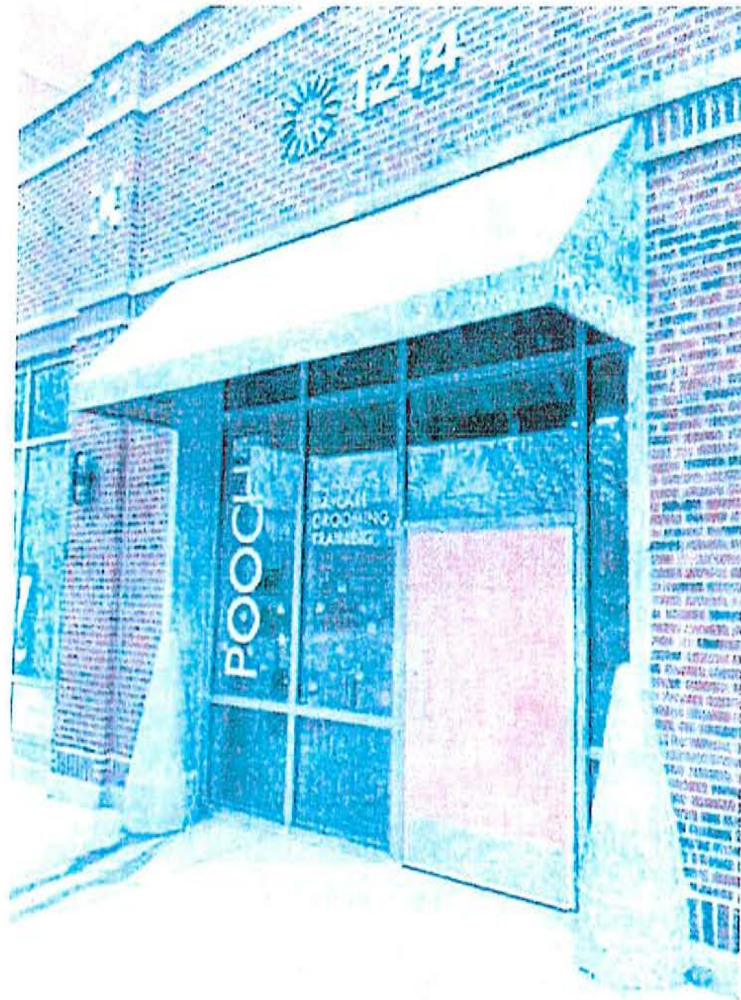




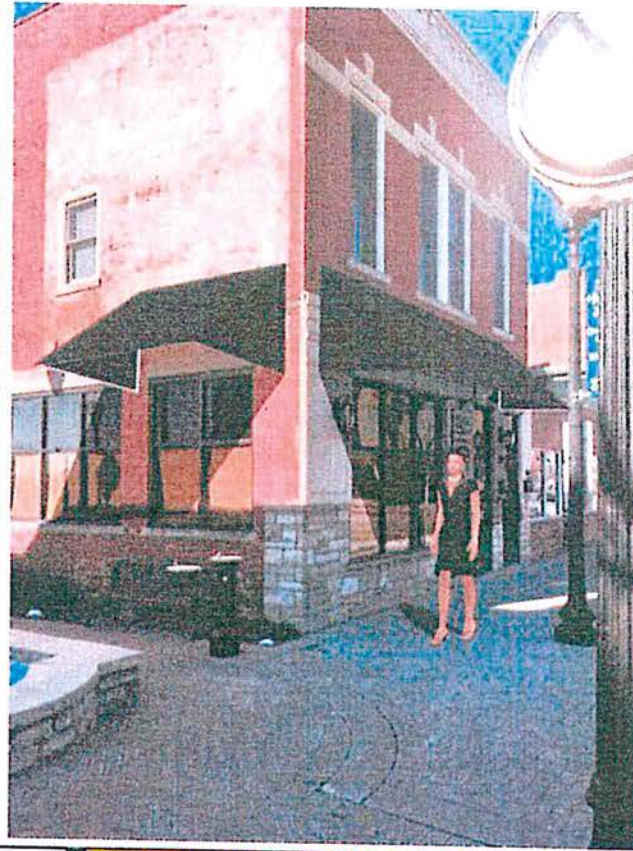
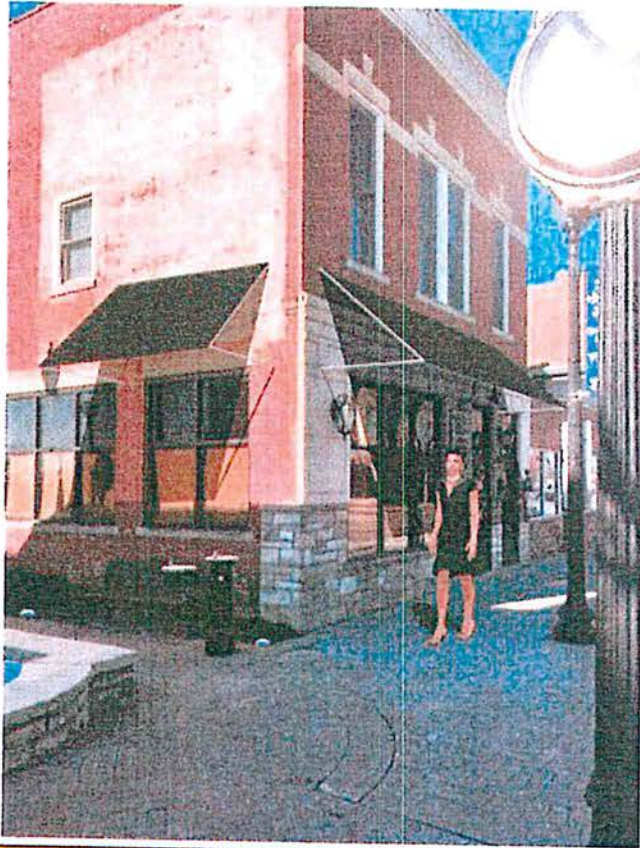












**Chesterfield Awning Co.**

Mobile Unit Phone: 800-764-8443 / 202-731-1073

2020-2021 1211 1200-1200

www.chesterfieldawning.com

FILE NAME: **Peterson**  
**J.L. 01-16-2020**

Graphic Artist: Matt Coglianesse

**PHOTO RENDERINGS**  
**NOT TO BE USED AS**  
**GRAPHICS APPROVAL**

Colors and Scale are approximate only  
to this drawing. Please see actual samples.  
THIS DRAWING IS NOT TO SCALE.

This is an original drawing, created by Chesterfield Awning Company, Inc. It is being submitted for your personal use in connection with a project being planned for you by Chesterfield Awning Company, Inc. It is not to be used, reproduced, copied or exhibited in any fashion. In the event any of the above occurs, Chesterfield Awning Company, Inc. expects to be reimbursed \$250.00 in compensation for the time and effort entailed in creating this drawing.

jeremy jeremy

Re: Awning Quote/124 Main St/Chesterfield Awning Company

Feb 4, 2020 at 5:03:18 PM

Yolanda Peterson

References: 1) Rijon Manufacturing - Blue Island, IL/ 708-388-3629

2) Central Foundations - Berwyn, IL/ 630-870-0079

3) Lapage Architects Ltd - Wheaton, IL/ 630-665-0006

Yolanda,

Let me know if you need more or if this is ok?

Thank you,

Jeremy

On Tue, Feb 4, 2020 at 3:35 PM Yolanda Peterson <[REDACTED]>

wrote:

both or small businesses

On Tue, Feb 4, 2020 at 1:16 PM Jeremy Jeremy

<[jeremy@chesterfieldawning.com](mailto:jeremy@chesterfieldawning.com)> wrote:

Hi Yolanda,

And that awning is for the village hall and town hall

Thank you

Jeremy

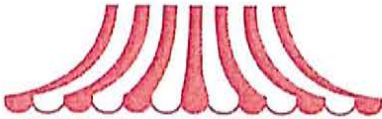
On Tue, Feb 4, 2020 at 1:16 PM Jeremy Jeremy <[REDACTED]>

wrote:

Hi Yolanda,

And that awning is for the village hall and town hall

Thank you



## Chesterfield Awning Co.

16999 Van Dam Road South Holland, IL 60473 Website: [www.chesterfieldawning.com](http://www.chesterfieldawning.com)  
Phone (708) 596-4434 Fax: (708) 596-9469

Yolanda Peterson  
124 Main St.  
West Chicago, IL 60185



### CONTRACT / ESTIMATE

January 17, 2020

#### Two (2) Custom Canvas Awnings Made & Installed

Includes/ Style: Straight

Size(s):

1 @ 20' w x 5' p x 5' d

1 @ 8' w x 5' p x 5' d

Material: Canvas/Vinyl - TBD

Color: Slate/Standard - TBD

Frame: 1" sq aluminum tubing - silver finish

Graphics: Not Included In Cost - TBD

Misc: Does Include: Standard Chesterfield labor + Insurance

**Does not include:** Lights, electric, bottom covers, special shop drawings, (structural eng. approved), **or any city permits, bonds, including public way.**

Total Price.....\$3,597.00

50% Down Payment ...

Balance due ....

**Installation: Approx. 4 to 6 weeks upon down payment**

*Installation time subject to change depending on Delayed Graphics Approvals or Outsourced Graphics*

**Terms: 50% down, balance upon installation**

Customer \_\_\_\_\_ Date: \_\_\_\_\_ Sales: Jeremy Lopez

After the company goes into production on this merchandise, this contract cannot be canceled and the purchaser is responsible for the whole amount contracted herein. The merchandise is the property of the Chesterfield Awning Company, Inc. until the whole amount of the contract is paid in full. A service charge of 1 ½ percent monthly will be added to any unpaid balance after 30 days from installation. This is an effective annual rate of 18 percent.



## OFFICIAL USE ONLY

Building Permit # \_\_\_\_\_  
COA # 20-02  
COA Approval Date 02/25/2020

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM APPLICATION  
WRITTEN ESTIMATE FORM

COMPLETE ONE FORM FOR EACH PROJECT ADDRESS

PROJECT ADDRESS 124 MAIN ST WCOWNER'S NAME YOLANDA PETERSONOWNER'S ADDRESS [REDACTED]OWNER'S TELEPHONE NUMBER [REDACTED]CONTRACTOR'S NAME CHESTERFIELD AWNING CO.CONTRACTOR'S ADDRESS 16999 VAN DAM RD. SEWALL HEIGHTS IL 60473CONTRACTOR'S TELEPHONE NUMBER 708 596-4434 DATE 1/17/20

DESCRIPTION OF PROPOSED CONSTRUCTION - ATTACH ANY ADDITIONAL  
INFORMATION TO THIS FORM.

MANUFACTURE AND INSTALL 2 AWNINGSTOTAL COST TO PERFORM ABOVE WORK \$ 3597<sup>00</sup>THIS ESTIMATE GOOD FROM 1/17/20 UNTIL \_\_\_\_\_

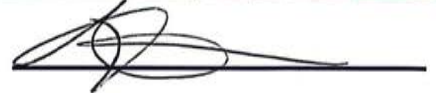
CONTRACTOR'S SIGNATURE \_\_\_\_\_

## CITY OF WEST CHICAGO

### CITY COUNCIL AGENDA ITEM SUMMARY

**ITEM TITLE:**

Downtown Façade Grant Program Agreement  
220 Main Street  
Resolution No. 20-R-0038

**AGENDA ITEM NUMBER:**8.K.**FILE NUMBER:****COMMITTEE AGENDA DATE:****COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Tom Dabareiner, AICP**SIGNATURE****CITY ADMINISTRATOR REVIEW:** Michael Guttman**SIGNATURE****ITEM SUMMARY:**

Michael Lellios, property owner of the building at 220 Main Street, has requested Façade Grant Program funding for repairing/replacing the roof on the building. The proposed improvement is an eligible expenditure under the Program's guidelines and complies with the City's Building and Zoning Code regulations.

Mr. Lellios submitted three (3) estimates for the roof replacement, as required: 1) Tracy Home Improvement for \$12,686.00; 2) Vern Moore & Sons Roofing, Inc. for \$13,800.00; and 3) Lindholm Roofing for \$24,300.00. The City's contribution is typically 50% of the lowest estimated cost(s), which in this instance is \$6,343.00 for the project listed above.

The funding for the Program comes from the downtown T.I.F. district, if sufficient funding is available for the Program. City staff determined that there are sufficient funds available to reimburse up to \$6,343.00 to Mr. Lellios for the successful repair/replacement of the building's roof per the attached scope of work and in accordance with the Program's guidelines.

**ACTIONS PROPOSED:**

Consideration of a Façade Grant award Façade Grant in an amount not to exceed \$6,343.00 to for the repair/replace the roof at 220 Main Street. A Resolution and Grant Agreement reflecting an amount of \$6,343.00 are attached.

**COMMITTEE RECOMMENDATION:**

In consultation with the Development Committee Chair, this item has been moved directly to City Council for consideration.

**RESOLUTION NO. 2020-R-0038**

**A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE  
A CERTAIN DOWNTOWN FAÇADE GRANT PROGRAM AGREEMENT  
MICHAEL LELLIOS – 220 MAIN STREET**

BE IT RESOLVED by the City Council of the City of West Chicago, in regular session assembled, that the Mayor is hereby authorized to execute a certain Downtown Façade Grant Program Agreement by and between Michael Lellios and the City of West Chicago, a copy of which is attached hereto and incorporated herein as Exhibit “A”.

APPROVED this 20<sup>th</sup> day of July, 2020.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith



## **Exhibit A to Resolution 2020-R-0038**

### **DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT**

This DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT (hereinafter referred to as the "AGREEMENT") is entered into this 20<sup>th</sup> day of July, 2020, by and between the City of West Chicago, DuPage County, Illinois, an Illinois municipal corporation (hereinafter referred to as the "CITY") and Michael Lellios, (hereinafter referred to as the "APPLICANT") (the CITY and the APPLICANT are hereinafter collectively referred to as the "PARTIES");

#### WITNESSETH:

WHEREAS, the APPLICANT is the owner of certain real property located at 220 Main Street, in West Chicago, (hereinafter referred to as the "SUBJECT REALTY") and legally described on Exhibit "A", which is attached hereto and incorporated herein; and,

WHEREAS, the SUBJECT REALTY is located within the CITY'S Downtown Redevelopment Project Area (hereinafter referred to as the "AREA"), duly established pursuant to the Tax Increment Allocation Redevelopment Act (hereinafter referred to as the "ACT"), 65 ILCS 5/11-74.4-1 et seq.; and,

WHEREAS, Chapter 4, Article V of the CITY'S Code of Ordinances establishes specific rules and regulations with respect to the alteration of historic structures in the AREA; and,

WHEREAS, Chapter 4 Article VI of the CITY'S Code of Ordinances establishes a facade program (hereinafter referred to as the "PROGRAM") whereby the CITY may make financial contributions toward the cost of certain exterior improvements with respect to commercial structures located within the AREA; and,

WHEREAS, the SUBJECT REALTY is improved with a commercial structure upon which the APPLICANT proposes to complete certain exterior improvements (hereinafter referred to as the "IMPROVEMENTS"), as detailed and depicted on the improvement plans and specifications (hereinafter referred to as the "PLANS"), which are attached hereto and incorporated herein as Exhibit "B"; and,

WHEREAS, the APPLICANT has applied, pursuant to the PROGRAM, for a financial contribution from the CITY toward the cost of the IMPROVEMENTS as detailed and depicted on the PLANS; and,

WHEREAS, the CITY has determined that it would further the achievement of the objectives of the AREA for the commercial structure located upon the SUBJECT REALTY to be improved as provided for on the PLANS and that said IMPROVEMENTS would qualify for financial contributions from the CITY pursuant to the PROGRAM; and,

WHEREAS, the CITY desires the IMPROVEMENTS be completed on the SUBJECT REALTY and agrees to financially contribute toward such IMPROVEMENTS based on the terms and conditions of this AGREEMENT and the PROGRAM; and,

WHEREAS, the APPLICANT desires to complete the IMPROVEMENTS in accordance with the terms and conditions of this AGREEMENT and the PROGRAM and desires to receive a financial contribution from the CITY for the completion of said IMPROVEMENTS.



WHEREAS, on April 29<sup>th</sup>, 2020 the CITY'S Historical Preservation Commission approved Certificates of Appropriateness No. 20-05 for the IMPROVEMENTS.

NOW, THEREFORE, in consideration of the foregoing premises and in further consideration of the mutual covenants, conditions and agreements herein contained, the PARTIES hereto agree as follows:

ARTICLE I  
INCORPORATION OF RECITALS

The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Article I and the same shall continue for so long as this AGREEMENT is of force and effect.

ARTICLE II  
AUTHORITY

This AGREEMENT is made and entered into by the PARTIES pursuant to and in accordance with the provisions of the ACT.

ARTICLE III  
IMPROVEMENTS TO THE SUBJECT REALTY

The APPLICANT shall complete the IMPROVEMENTS on the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT and in full compliance with all applicable codes, ordinances, rules, regulations, permits and any conditions attached thereto, whether imposed by the CITY or any other unit of local government or any Federal, State or governmental agency having jurisdiction over the SUBJECT REALTY or any portion thereof, and shall complete the IMPROVEMENTS in a good and workmanlike manner.

The APPLICANT shall furnish, or cause to be furnished, at his own expense, all the necessary materials, labor and equipment to complete the IMPROVEMENTS in accordance with the PLANS. The IMPROVEMENTS shall be subject to inspection by, and approval of, the CITY.

The APPLICANT shall pay to the CITY all plan review, inspection and other fees, prior to the issuance of any required building permits for the IMPROVEMENTS on the SUBJECT REALTY, as required by the CITY'S Code of Ordinances.

The APPLICANT shall complete the IMPROVEMENTS within twelve (12) months of the issuance of the building permit by the CITY for such IMPROVEMENTS. If the APPLICANT fails to complete the IMPROVEMENTS within the established timeframe the CITY may rescind the financial contribution agreed upon herein in this AGREEMENT.

ARTICLE IV  
REDEVELOPMENT OF THE SUBJECT REALTY

Upon the APPLICANT'S completion of the IMPROVEMENTS on the SUBJECT REALTY as provided hereinabove, the APPLICANT shall give notice of completion to the CITY, and shall provide the CITY with all receipts, sworn contractor statements and lien waivers (hereinafter referred to as the "DOCUMENTATION") showing that all persons who have done work, or have furnished materials with respect to the IMPROVEMENTS, and might be entitled to a



lien therefore under any laws of the State of Illinois, have been paid in full for their work and are no longer entitled to such lien. The CITY shall inspect the IMPROVEMENTS as soon as practicable after receipt of the DOCUMENTATION, and if the IMPROVEMENTS are found to be in full compliance with the terms of this AGREEMENT and all applicable codes, ordinances, rules, regulations, permits and conditions as provided hereinabove, the CITY shall issue a final inspection report approving the IMPROVEMENTS. The City Council, following the issuance of said final inspection report and receipt of all of the required DOCUMENTATION, shall authorize payment of the CITY'S financial contribution toward the IMPROVEMENTS pursuant to the PROGRAM in an amount equal to the lesser of Six Thousand Three Hundred Forty Three Dollars and Zero Cents (\$6,343.00), or one half of the amount actually paid by the APPLICANT for the IMPROVEMENTS, as indicated on the DOCUMENTATION submitted to the CITY, whichever is less.

#### ARTICLE V TIME

Time is of the essence under this AGREEMENT and all time limits set forth herein shall be mandatory and shall not be waived except by a lawfully authorized and executed written waiver amendment to this AGREEMENT by the PARTIES excusing such timely performance.

#### ARTICLE VI AMENDMENTS

This AGREEMENT sets forth all the promises, inducements, agreements, conditions and undertakings between the APPLICANT and the CITY relative to the IMPROVEMENTS identified herein this AGREEMENT, and there shall be no promises, agreements, conditions or understandings, either oral or written, express or implied, between them, other than as herein set forth. No subsequent alteration, amendment, change or addition to this AGREEMENT shall be binding upon the PARTIES hereto unless authorized in accordance with the law and reduced in writing and signed by the PARTIES. However, whenever under the provisions of this AGREEMENT any notice or consent of the CITY or the APPLICANT is required, or the CITY or the APPLICANT is required to agree or to take some action at the request of the other, such approval or such consent of such request shall be given for the CITY, unless otherwise provided herein, by the Mayor or his designee and for the APPLICANT by the APPLICANT or any agent as the APPLICANT so authorizes.

#### ARTICLE VII NOTICES

All notices and requests required pursuant to this AGREEMENT shall be sent by certified mail as follows:

To the APPLICANT:	Michael Lellios 220 Main Street West Chicago, IL 60185
-------------------	--



To the CITY:

City of West Chicago  
475 Main Street  
West Chicago, Illinois 60185

or at such other addresses as either of the PARTIES may indicate in writing to the other either by personal delivery or by certified or registered mail, return receipt requested, with proof of delivery thereof.

ARTICLE VIII  
GOVERNING LAWS

This AGREEMENT shall be construed and enforced in accordance with the laws of the State of Illinois.

ARTICLE IX  
COUNTERPARTS

This AGREEMENT may be executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

IN WITNESS WHEREOF, the PARTIES hereto have set their hands and seals on the date first above written.

CITY OF WEST CHICAGO, an Illinois  
Municipal Corporation,

By: \_\_\_\_\_  
Mayor Ruben Pineda

ATTEST: \_\_\_\_\_  
City Clerk Nancy M. Smith

By: \_\_\_\_\_  
Michael Lellios

STATE OF ILLINOIS        )  
                                      )  
COUNTY OF DU PAGE     )       SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Ruben Pineda, Mayor of the City of West Chicago, and Nancy M. Smith, City Clerk, personally known to me to be the same persons whose names are set forth on the foregoing instrument as such Mayor and City Clerk respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

STATE OF ILLINOIS                    )  
  )       SS.  
COUNTY OF DU PAGE                )

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael Lellios \_\_\_\_\_, personally known to me to be the same person whose name is set forth on the foregoing instrument appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public



## EXHIBIT A

### Subject Realty Legal Description

That part of the North West quarter of the North West quarter of Section 10, Township 39 North, Range 9, East of the Third Principal Meridian, described as follows: Commencing at the intersection of the South Westerly line of Depot (now Main) Street and South Easterly line extended South of Lot 4, Block 3, of the Original Town of Juncitio, thence North Westerly along said South Westerly line of Depot (now Main) Street, 55 feet; thence South Westerly at right angles to said Depot Street, 60 feet; thence South Easterly parallel to Depot Street, 55 feet; thence South Easterly at right angles to Depot Street, 49 feet, to the South Westerly line of said street; then North Westerly along said street line 20 feet to place of beginning in DuPage County, Illinois

P.I.N.: 04-10-108-009

## EXHIBIT B

(Insert PLANS here)



CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

COA# \_\_\_\_\_

DATE RECEIVED \_\_\_\_\_

BUILDING PERMIT# \_\_\_\_\_

**APPLICANT AND PROPERTY OWNER INFORMATION**

APPLICANT'S NAME

*H. Michael Lellios*

APPLICANT'S ADDRESS

[REDACTED]

APPLICANT'S TELEPHONE NUMBER

ARE YOU THE PROPERTY OWNER?

☒ YES

☐ NO

IF SO, OWNERSHIP STATUS

☒

SOLE OWNER

☐ PARTNERSHIP

☐ CORPORATION

☐ TRUST

ARE YOU THE TENANT?

☐ YES

☒ NO

IF SO, YEARS REMAINING ON LEASE? \_\_\_\_\_

IF YOU ARE NOT THE PROPERTY OWNER, PLEASE PROVIDE:

OWNER'S NAME \_\_\_\_\_

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

**PROPERTY INFORMATION**

PROPERTY ADDRESS OF PROJECT

*218, 220 Main Street*

LEGAL DESCRIPTION

BUSINESS NAME

*The Buckle Bar & Grill*

HISTORIC BUILDING NAME




PAGE 2

## PROJECT

DESCRIBE YOUR PROJECT

370 N. Main Street  
Elgin, IL 60123

Date	Estimate #
1/2/2020	19-1044

Name / Address
Mike Lellios



			Project
Description	Qty	Cost	Total
<p>Total Cost of roof at 220 Main Street, West Chicago</p> <p>Tear off all roofing and insulation down to decking.  Remove galvanized gutter flashing.  Install new 1" urethane insulation.  Insulation to be mechanically fastened using 3" galvanized disk and screws.  Install one layer fiberglass bases using cap nails.  Install new galvanized drip cap on gutter edge.  Roof with one layer torch applied granulated membrane roofing.  Install new pressure treated 4x4 under A/C units.  Remove clay coping stones on front wall.  Flash wall with membrane roofing.  Reinstall coping stones after wall has been flashed.  Flash apartment walls with same.</p> <p>Pick up and haul away all debris.</p> <p>WE PROPOSE HEREBY TO FURNISH MATERIAL AND LABOR - COMPLETE IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS. PAYMENTS TO BE MADE AS FOLLOWS:  1/2 upon acceptance and balance due on DAY OF COMPLETION. Home owner MUST MAKE arrangements to have balance of job available for crew to take back to the office at the end of the day.</p> <p>DOWN PAYMENT MUST BE MADE IN ORDER TO GET JOB PLACED ON WORK SCHEDULE.</p>		12,686.00	12,686.00
THANK YOU FOR THE OPPORTUNITY TO BID YOUR WORK.		<b>Total</b>	

Tracy Home Improvement

576 N. Airlite Street  
Elgin, IL 60123

## Estimate

Date	Estimate #
1/2/2020	19-1044

Name / Address
Mike Lellios 

			Project
Description	Qty	Cost	Total
<p>THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND ARE HEREBY ACCEPTED. YOU ARE AUTHORIZED TO DO THE WORK SPECIFIED. PAYMENTS WILL BE MADE AS OUTLINED ABOVE. THI ALSO HAS PERMISSION TO TAKE PHOTOS OF WORK TO BE USED FOR PROMOTIONAL REASONS.</p> <p>Signature_____</p> <p>Date of Acceptance_____</p>			
THANK YOU FOR THE OPPORTUNITY TO BID YOUR WORK.		<b>Total</b>	\$12,686.00



## Proposal

Page No.

of

Pages

## VERN MOORE &amp; SONS ROOFING INC.

1012 Elizabeth Street  
WEST CHICAGO, ILLINOIS 60185  
(630) 272-4143 vmooreroofing@yahoo.com

PROPOSAL SUBMITTED TO <i>Mike Lelias</i>	PHONE	DATE <i>1-3-20</i>
STREET	JOB NAME	
CITY, STATE and ZIP CODE	JOB LOCATION <i>220 220 - MAIN ST West Chicago</i>	
ARCHITECT	DATE OF PLANS	JOB PHONE

We hereby submit specifications and estimates for:

Tear off existing Roofing & insulation  
 Remove gutter flashing  
 Install 1" urethane insulation  
 Insulation to be fastened 3" Disk & screws  
 Install fiberglass Base sheet using Cap nails & galvanized drip cap  
 Install 1-Layer torch applied granulated membrane & Roofing  
 Install new pressure treated 4x4 under AC units  
 Remove clay coping stones on front wall  
 Re-flash wall & Reinstall Coping stones  
 Flash Apartment walls  
 Remove All Debris from Job site  
 \$13,800.<sup>00</sup>  
 Plus Perim +  
 Any plywood Replacement AT 60.<sup>00</sup> per 1/2" 4ply plywood or 4.<sup>00</sup>  
 per ft for 1x6"

We propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

dollars (\$ \_\_\_\_\_).

Payment to be made as follows:

*on completion*

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature

*Kevin F. Moore*Note: This proposal may be withdrawn by us if not accepted within *30* days.

**Acceptance of Proposal**—The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: \_\_\_\_\_

Signature \_\_\_\_\_

Signature \_\_\_\_\_



Family Owned and Operated Since 1949

## LINDHOLM ROOFING, INC.

205 E. Butterfield Road  
Elmhurst, Illinois 60126

(630) 279-7700

Fax (773) 283-1933

info@lindholmroofing.com



MAIN WAREHOUSE  
3558 N. MILWAUKEE  
CHICAGO, ILLINOIS

Commercial  
Residential

All types of roofing  
All types of repairs  
Gutters & Downspouts  
Siding/Soffit/Fascia  
Windows  
Tuckpointing

Quality Work  
Fully Insured

Lee Development Corp./Mike Lee

01/06/2020

*Lindholm Roofing, with 70 years of experience, proposes to do the following work at  
220 Main St., West Chicago, IL 60185:*

### RE: ROOFING WORK TO FLAT ROOF

1. We will tear off and haul away all old roofing material. We will protect your lawn and plantings. Upon completion of work, we will sweep clean all patio/driveway areas and rake debris from all landscaped areas. We often use a magnetic rake to help us remove loose nails from the lawn.
2. We will install 2 layers of 2.6" (ISO) isocyanurate insulation over the roof deck. The insulation will be installed with staggered seams to maximize energy efficiency. It will provide an R-Value of 32, which comply with current city and state energy codes.
3. We will apply a self adhered SBS modified bitumen roof system. Starting at the low point, we will first install a compatible base sheet followed by the self adhered SBS modified bitumen membrane. This membrane shall have a mineral surface. Flashings shall be sealed properly with the same membrane.
4. We will install new wall flashing.
5. All work will be done by fully insured workmen.

**THIS WORK CARRIES A FIVE YEAR GUARANTEE**  
(Please inquire about details of guarantee)

### TERMS: NET DUE UPON COMPLETION OF WORK

\*We accept Check/Cash/Visa/Mastercard/Quickpay(lindholmroofing@gmail.com). There is a 3% convenience fee on credit transactions over \$500.00.\*

Family Owned and Operated Since 1949

## LINDHOLM ROOFING, INC.

205 E. Butterfield Road  
Elmhurst, Illinois 60126

(630) 279-7700

Fax (773) 283-1933

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MAIN WAREHOUSE  
3588 N. MILWAUKEE  
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Commercial  
Residential

All types of roofing  
All types of repairs  
Cutters & Downspouts  
Siding/Soffit/Fascia  
Windows  
Tuckpointing

Quality Work  
Fully Insured

- ❖ We will replace wood as necessary for an additional \$2.95 per square foot.
- ❖ I have inspected the project and would be happy to meet in person with you to discuss the project. Please call me if you would like to arrange a meeting.

### PRICE

\$24,300.00

- ❖ Any needed new copings will be installed for an additional \$60.00 per coping.

### ❖ FINANCING IS AVAILABLE FOR MOST JOBS

\*The cost of any necessary permits and/or fees is not included. We will make the application using our STATE LICENSE and our INSURANCE. You will pay the actual COSTS ONLY. Owner is responsible for removing and/or covering personal items in the attic area. We cannot be responsible for damage to items left in the attic, clean-up of the attic area due to debris falling through the spacing in deck boards, nail pops, or cracks caused by the roof removal and/or replacement process. Special care should be taken to protect any wall hangings and pictures or any item that could fall due to the vibrations. This contract does not include, unless expressly specified, any mold abatement, removal or cleaning. In addition, any warranty given to you under this contract does not include the cost to abate, remove or clean mold that may be found on the premises in the future. A service fee of 3% per month will be added to any balance over 15 days, with an annual rate of 18%. Any costs, including legal costs, incurred by Lindholm Roofing to collect payments will be paid by customer. Lindholm Roofing agrees to include purchaser as an additional insured for general liability as respects all work performed on their behalf.

LINDHOLM ROOFING, INC  
STATE LICENSE NO. 104-001033

PRINT NAME

DATE

TOM KASPERSKI  
lr.tomka@gmail.com  
Cell: (630) 352-8844 (mobile)

PURCHASER SIGNATURE

Project # 87733

Page 2 of 2



## CITY OF WEST CHICAGO

### CITY COUNCIL AGENDA ITEM SUMMARY

**ITEM TITLE:**

Downtown Façade Grant Program Agreement  
218 Main Street  
Resolution No. 20-R-0039

**AGENDA ITEM NUMBER:**8.L.**FILE NUMBER:****COMMITTEE AGENDA DATE:****COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Tom Dabareiner, AICP**SIGNATURE****CITY ADMINISTRATOR REVIEW:** Michael Guttman**SIGNATURE****ITEM SUMMARY:**

Michael Lellios, property owner of the building at 218 Main Street, has requested Façade Grant Program funding for the purpose of repairing/replacing the pitched roof on the building. The proposed improvement is an eligible expenditure under the Program's guidelines and complies with the City's Building and Zoning Code regulations.

Mr. Lellios submitted three (3) estimates for the roof replacement, as required: 1) Trident Construction Group for \$7,798.00; 2) Vern Moore & Sons Roofing, Inc. for \$15,100; and 3) Lindholm Roofing for \$10,300.00. The City's contribution is typically 50% of the lowest estimated cost(s), which in this instance is \$3,899.00 for the project listed above.

The funding for the Program comes from the downtown T.I.F. district, if sufficient funding is available for the Program. City staff determined that there are sufficient funds available to reimburse up to \$3,899.00 to Mr. Lellios for the successful repair/replacement of the building's roof per the attached scope of work and in accordance with the Program's guidelines.

**ACTIONS PROPOSED:**

Consideration of a Façade Grant award Façade Grant in an amount not to exceed \$3,899.00 to for the repair/replace the roof at 218 Main Street. A Resolution and Grant Agreement reflecting an amount of \$3,899.00 are attached.

**COMMITTEE RECOMMENDATION:**

In consultation with the Development Committee Chair, this item has been moved directly to City Council for consideration.

**RESOLUTION NO. 2020-R-0039**

**A Resolution Authorizing The Mayor To Execute  
A Certain Downtown Façade Grant Program Agreement Michael Lellios –  
218 Main Street**

BE IT RESOLVED by the City Council of the City of West Chicago, in regular session assembled, that the Mayor is hereby authorized to execute a certain Downtown Façade Grant Program Agreement by and between Michael Lellios and the City of West Chicago, a copy of which is attached hereto and incorporated herein as Exhibit "A".

APPROVED this 20<sup>th</sup> day of July, 2020.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith



**Exhibit A to Resolution 2020-R-0039**

**DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT**

This DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT (hereinafter referred to as the "AGREEMENT") is entered into this 20<sup>th</sup> day of July, 2020, by and between the City of West Chicago, DuPage County, Illinois, an Illinois municipal corporation (hereinafter referred to as the "CITY") and Michael Lellios, (hereinafter referred to as the "APPLICANT") (the CITY and the APPLICANT are hereinafter collectively referred to as the "PARTIES");

WITNESSETH:

WHEREAS, the APPLICANT is the owner of certain real property located at 218 Main Street, in West Chicago, (hereinafter referred to as the "SUBJECT REALTY") and legally described on Exhibit "A", which is attached hereto and incorporated herein; and,

WHEREAS, the SUBJECT REALTY is located within the CITY'S Downtown Redevelopment Project Area (hereinafter referred to as the "AREA"), duly established pursuant to the Tax Increment Allocation Redevelopment Act (hereinafter referred to as the "ACT"), 65 ILCS 5/11-74.4-1 et seq.; and,

WHEREAS, Chapter 4, Article V of the CITY'S Code of Ordinances establishes specific rules and regulations with respect to the alteration of historic structures in the AREA; and,

WHEREAS, Chapter 4 Article VI of the CITY'S Code of Ordinances establishes a facade program (hereinafter referred to as the "PROGRAM") whereby the CITY may make financial contributions toward the cost of certain exterior improvements with respect to commercial structures located within the AREA; and,

WHEREAS, the SUBJECT REALTY is improved with a commercial structure upon which the APPLICANT proposes to complete certain exterior improvements (hereinafter referred to as the "IMPROVEMENTS"), as detailed and depicted on the improvement plans and specifications (hereinafter referred to as the "PLANS"), which are attached hereto and incorporated herein as Exhibit "B"; and,

WHEREAS, the APPLICANT has applied, pursuant to the PROGRAM, for a financial contribution from the CITY toward the cost of the IMPROVEMENTS as detailed and depicted on the PLANS; and,

WHEREAS, the CITY has determined that it would further the achievement of the objectives of the AREA for the commercial structure located upon the SUBJECT REALTY to be improved as provided for on the PLANS and that said IMPROVEMENTS would qualify for financial contributions from the CITY pursuant to the PROGRAM; and,

WHEREAS, the CITY desires the IMPROVEMENTS be completed on the SUBJECT REALTY and agrees to financially contribute toward such IMPROVEMENTS based on the terms and conditions of this AGREEMENT and the PROGRAM; and,

WHEREAS, the APPLICANT desires to complete the IMPROVEMENTS in accordance with the terms and conditions of this AGREEMENT and the PROGRAM and desires to receive a financial contribution from the CITY for the completion of said IMPROVEMENTS.



WHEREAS, on April 29<sup>th</sup>, 2020 the CITY'S Historical Preservation Commission approved Certificates of Appropriateness No. 20-05 for the IMPROVEMENTS.

NOW, THEREFORE, in consideration of the foregoing premises and in further consideration of the mutual covenants, conditions and agreements herein contained, the PARTIES hereto agree as follows:

ARTICLE I  
INCORPORATION OF RECITALS

The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Article I and the same shall continue for so long as this AGREEMENT is of force and effect.

ARTICLE II  
AUTHORITY

This AGREEMENT is made and entered into by the PARTIES pursuant to and in accordance with the provisions of the ACT.

ARTICLE III  
IMPROVEMENTS TO THE SUBJECT REALTY

The APPLICANT shall complete the IMPROVEMENTS on the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT and in full compliance with all applicable codes, ordinances, rules, regulations, permits and any conditions attached thereto, whether imposed by the CITY or any other unit of local government or any Federal, State or governmental agency having jurisdiction over the SUBJECT REALTY or any portion thereof, and shall complete the IMPROVEMENTS in a good and workmanlike manner.

The APPLICANT shall furnish, or cause to be furnished, at his own expense, all the necessary materials, labor and equipment to complete the IMPROVEMENTS in accordance with the PLANS. The IMPROVEMENTS shall be subject to inspection by, and approval of, the CITY.

The APPLICANT shall pay to the CITY all plan review, inspection and other fees, prior to the issuance of any required building permits for the IMPROVEMENTS on the SUBJECT REALTY, as required by the CITY'S Code of Ordinances.

The APPLICANT shall complete the IMPROVEMENTS within twelve (12) months of the issuance of the building permit by the CITY for such IMPROVEMENTS. If the APPLICANT fails to complete the IMPROVEMENTS within the established timeframe the CITY may rescind the financial contribution agreed upon herein in this AGREEMENT.

ARTICLE IV  
REDEVELOPMENT OF THE SUBJECT REALTY

Upon the APPLICANT'S completion of the IMPROVEMENTS on the SUBJECT REALTY as provided hereinabove, the APPLICANT shall give notice of completion to the CITY, and shall provide the CITY with all receipts, sworn contractor statements and lien waivers (hereinafter referred to as the "DOCUMENTATION") showing that all persons who have done work, or have furnished materials with respect to the IMPROVEMENTS, and might be entitled to a



lien therefore under any laws of the State of Illinois, have been paid in full for their work and are no longer entitled to such lien. The CITY shall inspect the IMPROVEMENTS as soon as practicable after receipt of the DOCUMENTATION, and if the IMPROVEMENTS are found to be in full compliance with the terms of this AGREEMENT and all applicable codes, ordinances, rules, regulations, permits and conditions as provided hereinabove, the CITY shall issue a final inspection report approving the IMPROVEMENTS. The City Council, following the issuance of said final inspection report and receipt of all of the required DOCUMENTATION, shall authorize payment of the CITY'S financial contribution toward the IMPROVEMENTS pursuant to the PROGRAM in an amount equal to the lesser of Three Thousand Eight Hundred Ninety Nine Dollars and Zero Cents (\$3,899.00), or one half of the amount actually paid by the APPLICANT for the IMPROVEMENTS, as indicated on the DOCUMENTATION submitted to the CITY, whichever is less.

#### ARTICLE V TIME

Time is of the essence under this AGREEMENT and all time limits set forth herein shall be mandatory and shall not be waived except by a lawfully authorized and executed written waiver amendment to this AGREEMENT by the PARTIES excusing such timely performance.

#### ARTICLE VI AMENDMENTS

This AGREEMENT sets forth all the promises, inducements, agreements, conditions and undertakings between the APPLICANT and the CITY relative to the IMPROVEMENTS identified herein this AGREEMENT, and there shall be no promises, agreements, conditions or understandings, either oral or written, express or implied, between them, other than as herein set forth. No subsequent alteration, amendment, change or addition to this AGREEMENT shall be binding upon the PARTIES hereto unless authorized in accordance with the law and reduced in writing and signed by the PARTIES. However, whenever under the provisions of this AGREEMENT any notice or consent of the CITY or the APPLICANT is required, or the CITY or the APPLICANT is required to agree or to take some action at the request of the other, such approval or such consent of such request shall be given for the CITY, unless otherwise provided herein, by the Mayor or his designee and for the APPLICANT by the APPLICANT or any agent as the APPLICANT so authorizes.

#### ARTICLE VII NOTICES

All notices and requests required pursuant to this AGREEMENT shall be sent by certified mail as follows:

To the APPLICANT:	Michael Lellios 218 Main Street West Chicago, IL 60185
-------------------	--

To the CITY:

City of West Chicago  
475 Main Street  
West Chicago, Illinois 60185

or at such other addresses as either of the PARTIES may indicate in writing to the other either by personal delivery or by certified or registered mail, return receipt requested, with proof of delivery thereof.

ARTICLE VIII  
GOVERNING LAWS

This AGREEMENT shall be construed and enforced in accordance with the laws of the State of Illinois.

ARTICLE IX  
COUNTERPARTS

This AGREEMENT may be executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

IN WITNESS WHEREOF, the PARTIES hereto have set their hands and seals on the date first above written.

CITY OF WEST CHICAGO, an Illinois  
Municipal Corporation,

By: \_\_\_\_\_  
Mayor Ruben Pineda

ATTEST: \_\_\_\_\_  
City Clerk Nancy M. Smith

By: \_\_\_\_\_  
Michael Lellios



STATE OF ILLINOIS            )  
  )  
COUNTY OF DU PAGE        )       SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Ruben Pineda, Mayor of the City of West Chicago, and Nancy M. Smith, City Clerk, personally known to me to be the same persons whose names are set forth on the foregoing instrument as such Mayor and City Clerk respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

STATE OF ILLINOIS                    )  
  )  
COUNTY OF DU PAGE                )                SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael Lellios, personally known to me to be the same person whose name is set forth on the foregoing instrument appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public

## EXHIBIT A

### Subject Realty Legal Description

That part of the North West quarter of the North West quarter of Section 10, Township 39 North, Range 9, East of the Third Principal Meridian, described as follows: Commencing at the intersection of the South Westerly line of Depot (now Main) Street and South Easterly line extended South of Lot 4, Block 3, of the Original Town of Juncitio, thence North Westerly along said South Westerly line of Depot (now Main) Street, 55 feet; thence South Westerly at right angles to said Depot Street, 60 feet; thence South Easterly parallel to Depot Street, 55 feet; thence South Easterly at right angles to Depot Street, 49 feet, to the South Westerly line of said street; then North Westerly along said street line 20 feet to place of beginning in DuPage County, Illinois

P.I.N.: 04-10-108-009



## EXHIBIT B

(Insert PLANS here)



CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

COA# \_\_\_\_\_

DATE RECEIVED \_\_\_\_\_

BUILDING PERMIT# \_\_\_\_\_

APPLICANT AND PROPERTY OWNER INFORMATION

APPLICANT'S NAME A. Michael Lellios

APPLICANT'S ADDRESS \_\_\_\_\_

APPLICANT'S TELEPHONE NUMBER \_\_\_\_\_

ARE YOU THE PROPERTY OWNER? ☒ YES ☐ NO

IF SO, OWNERSHIP STATUS ☒ SOLE OWNER ☐ PARTNERSHIP  
☐ CORPORATION ☐ TRUST

ARE YOU THE TENANT? ☐ YES ☒ NO

IF SO, YEARS REMAINING ON LEASE? \_\_\_\_\_

IF YOU ARE NOT THE PROPERTY OWNER, PLEASE PROVIDE:

OWNER'S NAME \_\_\_\_\_

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

PROPERTY INFORMATION

PROPERTY ADDRESS OF PROJECT

218, 220 Main Street

LEGAL DESCRIPTION

BUSINESS NAME

The Bunker Bar & Grill

HISTORIC BUILDING NAME

## PAGE 2

PROJECT

---

DESCRIBE YOUR PROJECT



[365 N Jefferson St. UNIT 1511]  
[Chicago, IL 60661]



Estimate

W.O. # : Arc Roof 404  
W.O. Date : 12/22/2020

[Michael@TridentAdjustingAndConsulting.com]

Customer Name Mike Lee  
Customer ID: Mike Lee  
Department:

JOB	BILL TO	SHIP TO (if different)
ARCHITECTURAL Roof remove and replacement	(Mike Lee) [Company Name] Unknown 218-220 main st West Chicago, IL [REDACTED]	

QTY	DESCRIPTION			total
1	TEAR OFF. ROOF			
2	Dumpster Haul off and dispose			
3	Install ice & water on eves 24" past Inner wall PER CODE			
4	Install synthetic Underlayment, water proofing			
5	Install high grade ARCHITECTURAL shingle, OPEN COLOR			
6	Permit Fee. UNKNOWN FEE. Open to invoice			
7	Remove and replace box vents			
8	Detach and reset all components			
9	replace all drip edge . PER CODE EAGLE VIEW	20SQ'S		6,999.00
10	Gutter ESIMATE	112LF		799.00
				7,798.00

Other Comments or Special Instructions

1. Please refer to the W.O. # in all your correspondence
2. Please send correspondence regarding this work order to:  
[Name- Michael , Phone (312) 685-1087 ]  
EMAIL- Michael@TridentAdjustingAndConsulting.com

## Proposal

Page No.

of

Pages

## VERN MOORE &amp; SONS ROOFING INC.

1012 Elizabeth Street  
 WEST CHICAGO, ILLINOIS 60185  
 (630) 272-4143 vmooreroofing@yahoo.Com

PROPOSAL SUBMITTED TO <i>MIKE LELIOS</i>		PHONE	DATE <i>12-13-2019</i>
STREET <i>216 MAIN ST.</i>		JOB NAME	
CITY, STATE and ZIP CODE <i>WEST CHICAGO, IL 60185</i>		JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

*TEAR OFF EXISTING SHINGLES; RE-ROOF OVER synthetic  
 FELT WITH ATLAS PINNACLE SHINGLES.*

*ICE & WATER SHIELD BOTTOM 6'.*

*REFLASH BRICK CHIMNEY.*

*\$13,100.00*

*8-COLORED ROOF VENTS.*

*3- 4" LEAD PLUMBING STACK FLASHINGS.*

*REMOVE GUTTERS.*

*REMOVE ALL DEBRIS FROM JOB SITE.*

*NEW 5" ALUMINUM GUTTERS & 3X4 DOWNSPOUT - \$2,000.00*

*Any 1" by 6" REPLACEMENT @ \$3.75 PER FT.*

We propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

dollars (\$ \_\_\_\_\_).

Payment to be made as follows:

*Upon Completion*

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation insurance.

Authorized Signature

*John F. Moore (PRES)*

Note: This proposal may be withdrawn by us if not accepted within

*30* days.

**Acceptance of Proposal**—The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: \_\_\_\_\_

Signature \_\_\_\_\_

Signature \_\_\_\_\_



Family Owned and Operated Since 1949

## LINDHOLM ROOFING, INC.

205 E. Butterfield Road  
Elmhurst, Illinois 60126

(630) 279-7700

Fax (773) 283-1933

info@lindholmroofing.com



All types of roofing  
All types of repairs  
Gutters & Downspouts  
Siding/Soffit/Fascia  
Windows  
Tuckpointing

MAIN WAREHOUSE  
1408 N. MILWAUKEE  
CHICAGO, ILLINOIS

Commercial  
Residential

Quality Work  
Fully Insured

Lee Development Corp./Mike Lee

01/06/2020

*Lindholm Roofing, with 70 years of experience, proposes to do the following work at  
218 Main St., West Chicago, IL 60185:*

### RE: ROOFING WORK TO STEEP ROOF

1. We will tear off and haul away all old roofing material. We will protect your lawn and plantings. Upon completion of work, we will sweep clean all patio/driveway areas and rake debris from all landscaped areas. We often use a magnetic rake to help us remove loose nails from the lawn.
2. We will install ice and water shield membrane 54" wide to eaves of house. We will also install ice and water shield 18"-36" at chimneys, skylights and valleys.
3. We will install asphalt-saturated felt over entire exposed roof sheathing.
4. We will install Swift Start starter course along gutter lines and outside edges if applicable.
5. We will install new lead flashings to plumbing stacks.
6. We will install new vents. Note: colored vents may be available upon request.
7. We will install high definition Shadow Ridge to hip and ridge caps.
8. We will install a Landmark Lifetime architectural shingle with roofing nails. This shingle carries a Lifetime limited material warranty offered by CertainTeed. Samples can be provided to you for your review and consideration.
9. All work will be done by fully insured workmen.

**THIS WORK CARRIES A FIVE YEAR GUARANTEE**

(Please inquire about details of guarantee)

Project # 87732

Page 1 of 2



Family Owned and Operated Since 1949

**LINDHOLM ROOFING, INC.**205 E. Butterfield Road  
Elmhurst, Illinois 60126

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All types of roofing  
All types of repairs  
Cutters & Downspouts  
Siding/Soffit/Fascia  
Windows  
TuckpointingMAIN WAREHOUSE  
1555 N. MILWAUKEE  
CHICAGO, ILLINOISCommercial  
ResidentialQuality Work  
Fully Insured**TERMS: NET DUE UPON COMPLETION OF WORK**

\*We accept Check/Cash/Visa/Mastercard/Quickpay(lindholmroofing@gmail.com). There is a 3% convenience fee on credit transactions over \$500.00.\*

- ❖ We will replace wood sheathing as necessary for an additional cost of \$2.95 per linear foot if boards, and \$2.35 per square foot if plywood. The first 32 sq/ft or linear/ft will be free.
- ❖ I have inspected the project and would be happy to meet in person with you to discuss the project. Please call me if you would like to arrange a meeting.

**PRICE****\$8,500.00****ITEMS BELOW ARE OPTIONAL. PLEASE INITIAL THOSE WITH WHICH YOU WOULD LIKE TO PROCEED.**

- 1) We will install new aluminum gutters with oversized 3" x 4" downspouts.

**PRICE:****AN ADDITIONAL \$1,800.00 Option**

- ❖ This contract includes removal of 1 layer of existing roofs. If more layers are present, there will be an additional cost of \$550.00 each per layer for removal.

- ❖ FINANCING IS AVAILABLE FOR MOST JOBS

\*The cost of any necessary permits and/or fees is not included. We will make the application using our STATE LICENSE and our INSURANCE. You will pay the actual COSTS ONLY. Owner is responsible for removing and/or covering personal items in the attic area. We cannot be responsible for damage to items left in the attic, clean-up of the attic area due to debris falling through the spacing in deck boards, nail pops, or cracks caused by the roof removal and/or replacement process. Special care should be taken to protect any wall hangings and pictures or any item that could fall due to the vibrations. This contract does not include, unless expressly specified, any mold abatement, removal or cleaning. In addition, any warranty given to you under this contract does not include the cost to abate, remove or clean mold that may be found on the premises in the future. A service fee of 3% per month will be added to any balance over 15 days, with an annual rate of 18%. Any costs, including legal costs, incurred by Lindholm Roofing to collect payments will be paid by customer. Lindholm Roofing agrees to include purchaser as an additional insured for general liability as respects all work performed on their behalf.

LINDHOLM ROOFING, INC  
STATE LICENSE NO. 104-001033

PRINT NAME

DATE

TOM KASPERSKI  
lr.tomka@gmail.com  
Cell: (630) 352-8844 (mobile)

PURCHASER SIGNATURE

## CITY OF WEST CHICAGO

### CITY COUNCIL AGENDA ITEM SUMMARY

**ITEM TITLE:**

Downtown Façade Grant Program Agreement  
112 Main Street  
Resolution No. 20-R-0040

**AGENDA ITEM NUMBER:**8.M.**FILE NUMBER:****COMMITTEE AGENDA DATE:****COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Tom Dabareiner, AICP**SIGNATURE****CITY ADMINISTRATOR REVIEW:** Michael Guttman**SIGNATURE****ITEM SUMMARY:**

Eduardo Hernandez, property owner of the building at 112 Main Street, has requested Façade Grant Program funding for repairing/replacing the roof on the building. The proposed improvement is an eligible expenditure under the Program's guidelines and complies with the City's Building and Zoning Code regulations.

Mr. Hernandez submitted three (3) estimates for the roof replacement, as required: 1) Wheaton Roofing for \$24,000.00; 2) Casa Grande Realty, Inc. for \$27,000.00; and 3) Lindholm Roofing for \$39,299.00. The City's contribution is typically 50% of the lowest estimated cost(s), which in this instance is \$12,000 for the project listed above. It must be noted, however, that the maximum award for a property in a single year is \$10,000.00. Accordingly, this request is for the maximum \$10,000.00 award.

The funding for the Program comes from the downtown T.I.F. district, if sufficient funding is available for the Program. City staff determined that there are sufficient funds available to reimburse up to \$10,000.00 to Mr. Hernandez for the successful repair/replacement of the building's roof per the attached scope of work and in accordance with the Program's guidelines.

**ACTIONS PROPOSED:**

Consideration of a Façade Grant award Façade Grant in an amount not to exceed \$10,000.00 to for the repair/replace the roof at 112 Main Street. A Resolution and Grant Agreement reflecting an amount of \$10,000.00 are attached.

**COMMITTEE RECOMMENDATION:**

In consultation with the Development Committee Chair, this item has been moved directly to City Council for consideration.



**RESOLUTION NO. 2020-R-0040**

**A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE  
A CERTAIN DOWNTOWN FAÇADE GRANT PROGRAM AGREEMENT  
EDUARDO HERNANDEZ – 112 MAIN STREET**

BE IT RESOLVED by the City Council of the City of West Chicago, in regular session assembled, that the Mayor is hereby authorized to execute a certain Downtown Façade Grant Program Agreement by and between Eduardo Hernandez and the City of West Chicago, a copy of which is attached hereto and incorporated herein as Exhibit “A”.

APPROVED this 20<sup>th</sup> day of July, 2020.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith



**Exhibit A to Resolution 2020-R-0040**

**DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT**

This DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT (hereinafter referred to as the "AGREEMENT") is entered into this 20<sup>th</sup> day of July, 2020, by and between the City of West Chicago, DuPage County, Illinois, an Illinois municipal corporation (hereinafter referred to as the "CITY") and Eduardo Hernandez, (hereinafter referred to as the "APPLICANT") (the CITY and the APPLICANT are hereinafter collectively referred to as the "PARTIES");

WITNESSETH:

WHEREAS, the APPLICANT is the owner of certain real property located at 112 Main Street, in West Chicago, (hereinafter referred to as the "SUBJECT REALTY") and legally described on Exhibit "A", which is attached hereto and incorporated herein; and,

WHEREAS, the SUBJECT REALTY is located within the CITY'S Downtown Redevelopment Project Area (hereinafter referred to as the "AREA"), duly established pursuant to the Tax Increment Allocation Redevelopment Act (hereinafter referred to as the "ACT"), 65 ILCS 5/11-74.4-1 et seq.; and,

WHEREAS, Chapter 4, Article V of the CITY'S Code of Ordinances establishes specific rules and regulations with respect to the alteration of historic structures in the AREA; and,

WHEREAS, Chapter 4 Article VI of the CITY'S Code of Ordinances establishes a facade program (hereinafter referred to as the "PROGRAM") whereby the CITY may make financial contributions toward the cost of certain exterior improvements with respect to commercial structures located within the AREA; and,

WHEREAS, the SUBJECT REALTY is improved with a commercial structure upon which the APPLICANT proposes to complete certain exterior improvements (hereinafter referred to as the "IMPROVEMENTS"), as detailed and depicted on the improvement plans and specifications (hereinafter referred to as the "PLANS"), which are attached hereto and incorporated herein as Exhibit "B"; and,

WHEREAS, the APPLICANT has applied, pursuant to the PROGRAM, for a financial contribution from the CITY toward the cost of the IMPROVEMENTS as detailed and depicted on the PLANS; and,

WHEREAS, the CITY has determined that it would further the achievement of the objectives of the AREA for the commercial structure located upon the SUBJECT REALTY to be improved as provided for on the PLANS and that said IMPROVEMENTS would qualify for financial contributions from the CITY pursuant to the PROGRAM; and,

WHEREAS, the CITY desires the IMPROVEMENTS be completed on the SUBJECT REALTY and agrees to financially contribute toward such IMPROVEMENTS based on the terms and conditions of this AGREEMENT and the PROGRAM; and,

WHEREAS, the APPLICANT desires to complete the IMPROVEMENTS in accordance with the terms and conditions of this AGREEMENT and the PROGRAM and desires to receive a financial contribution from the CITY for the completion of said IMPROVEMENTS.



WHEREAS, on February 25<sup>th</sup>, 2020 the CITY'S Historical Preservation Commission approved Certificates of Appropriateness No. 20-04 for the IMPROVEMENTS.

NOW, THEREFORE, in consideration of the foregoing premises and in further consideration of the mutual covenants, conditions and agreements herein contained, the PARTIES hereto agree as follows:

ARTICLE I  
INCORPORATION OF RECITALS

The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Article I and the same shall continue for so long as this AGREEMENT is of force and effect.

ARTICLE II  
AUTHORITY

This AGREEMENT is made and entered into by the PARTIES pursuant to and in accordance with the provisions of the ACT.

ARTICLE III  
IMPROVEMENTS TO THE SUBJECT REALTY

The APPLICANT shall complete the IMPROVEMENTS on the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT and in full compliance with all applicable codes, ordinances, rules, regulations, permits and any conditions attached thereto, whether imposed by the CITY or any other unit of local government or any Federal, State or governmental agency having jurisdiction over the SUBJECT REALTY or any portion thereof, and shall complete the IMPROVEMENTS in a good and workmanlike manner.

The APPLICANT shall furnish, or cause to be furnished, at his own expense, all the necessary materials, labor and equipment to complete the IMPROVEMENTS in accordance with the PLANS. The IMPROVEMENTS shall be subject to inspection by, and approval of, the CITY.

The APPLICANT shall pay to the CITY all plan review, inspection and other fees, prior to the issuance of any required building permits for the IMPROVEMENTS on the SUBJECT REALTY, as required by the CITY'S Code of Ordinances.

The APPLICANT shall complete the IMPROVEMENTS within twelve (12) months of the issuance of the building permit by the CITY for such IMPROVEMENTS. If the APPLICANT fails to complete the IMPROVEMENTS within the established timeframe the CITY may rescind the financial contribution agreed upon herein in this AGREEMENT.

ARTICLE IV  
REDEVELOPMENT OF THE SUBJECT REALTY

Upon the APPLICANT'S completion of the IMPROVEMENTS on the SUBJECT REALTY as provided hereinabove, the APPLICANT shall give notice of completion to the CITY, and shall provide the CITY with all receipts, sworn contractor statements and lien waivers (hereinafter referred to as the "DOCUMENTATION") showing that all persons who have done work, or have furnished materials with respect to the IMPROVEMENTS, and might be entitled to a



lien therefore under any laws of the State of Illinois, have been paid in full for their work and are no longer entitled to such lien. The CITY shall inspect the IMPROVEMENTS as soon as practicable after receipt of the DOCUMENTATION, and if the IMPROVEMENTS are found to be in full compliance with the terms of this AGREEMENT and all applicable codes, ordinances, rules, regulations, permits and conditions as provided hereinabove, the CITY shall issue a final inspection report approving the IMPROVEMENTS. The City Council, following the issuance of said final inspection report and receipt of all of the required DOCUMENTATION, shall authorize payment of the CITY'S financial contribution toward the IMPROVEMENTS pursuant to the PROGRAM in an amount equal to the lesser of Ten Thousand Dollars and Zero Cents (\$10,000.00), or one half of the amount actually paid by the APPLICANT for the IMPROVEMENTS, as indicated on the DOCUMENTATION submitted to the CITY, whichever is less.

#### ARTICLE V TIME

Time is of the essence under this AGREEMENT and all time limits set forth herein shall be mandatory and shall not be waived except by a lawfully authorized and executed written waiver amendment to this AGREEMENT by the PARTIES excusing such timely performance.

#### ARTICLE VI AMENDMENTS

This AGREEMENT sets forth all the promises, inducements, agreements, conditions and undertakings between the APPLICANT and the CITY relative to the IMPROVEMENTS identified herein this AGREEMENT, and there shall be no promises, agreements, conditions or understandings, either oral or written, express or implied, between them, other than as herein set forth. No subsequent alteration, amendment, change or addition to this AGREEMENT shall be binding upon the PARTIES hereto unless authorized in accordance with the law and reduced in writing and signed by the PARTIES. However, whenever under the provisions of this AGREEMENT any notice or consent of the CITY or the APPLICANT is required, or the CITY or the APPLICANT is required to agree or to take some action at the request of the other, such approval or such consent of such request shall be given for the CITY, unless otherwise provided herein, by the Mayor or his designee and for the APPLICANT by the APPLICANT or any agent as the APPLICANT so authorizes.

#### ARTICLE VII NOTICES

All notices and requests required pursuant to this AGREEMENT shall be sent by certified mail as follows:

To the APPLICANT:	Eduardo Hernandez 112 Main Street West Chicago, IL 60185
-------------------	--



To the CITY:

City of West Chicago  
475 Main Street  
West Chicago, Illinois 60185

or at such other addresses as either of the PARTIES may indicate in writing to the other either by personal delivery or by certified or registered mail, return receipt requested, with proof of delivery thereof.

ARTICLE VIII  
GOVERNING LAWS

This AGREEMENT shall be construed and enforced in accordance with the laws of the State of Illinois.

ARTICLE IX  
COUNTERPARTS

This AGREEMENT may be executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

IN WITNESS WHEREOF, the PARTIES hereto have set their hands and seals on the date first above written.

CITY OF WEST CHICAGO, an Illinois  
Municipal Corporation,

By: \_\_\_\_\_  
Mayor Ruben Pineda

ATTEST: \_\_\_\_\_  
City Clerk Nancy M. Smith

By: \_\_\_\_\_  
Eduardo Hernandez

STATE OF ILLINOIS            )  
  )       SS.  
COUNTY OF DU PAGE        )

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Ruben Pineda, Mayor of the City of West Chicago, and Nancy M. Smith, City Clerk, personally known to me to be the same persons whose names are set forth on the foregoing instrument as such Mayor and City Clerk respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

STATE OF ILLINOIS       )  
                                      )  
COUNTY OF DU PAGE     )       SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Eduardo Hernandez, personally known to me to be the same person whose name is set forth on the foregoing instrument appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public



EXHIBIT A

Subject Realty Legal Description

## EXHIBIT B

(Insert PLANS here)

112 MAIN ST West Chicago, IL 60185

**CITY OF WEST CHICAGO**  
**GUIDELINES FOR FACADE IMPROVEMENT GRANT PROGRAM**

**PROGRAM PURPOSE**

The purpose of the facade program is to encourage the rehabilitation of the exteriors of commercial property in the City of West Chicago Downtown Redevelopment Project Area by establishing a program where the City will provide a limited match of private funds in the form of grants to be used for building facade renovation.

**ELIGIBLE PROPERTIES**

Commercial properties within the Downtown Redevelopment Project Area are eligible for participation in this program. Residential properties, including apartment buildings, are not eligible. Dwelling units, when accessory to a commercial building, are eligible.

**ELIGIBLE APPLICANTS**

- (a) Facade program applications may be submitted by:
- (1) The owner of property to be rehabilitated.
  - (2) A contract purchaser or holder of an option to purchase the property to be rehabilitated, with written permission of the owner, provided that no grant funds shall be distributed to such applicant prior to its closing on the purchase of the property.
  - (3) A lessee of the property to be rehabilitated, under a lease with an unexpired term of not less than five (5) years and with written permission of the owner.
- (b) No facade improvement grant shall be awarded, or grant funds distributed, to any applicant who is in default on its mortgage, installment land sale contract or lease with respect to the property, or who is delinquent in the payment of any tax, fine, fee or special assessment owed the City, the County, the State or the United States of America, as indicated by the records of the county recorder.

**ELIGIBLE IMPROVEMENTS**

- (a) In order to be eligible for a grant under the facade program, improvements must relate to a building facade that is visible from a public way, must be permanently fixed to the real estate, and must not restrict any future use of the building. Eligible improvements include, but are not limited to:
- (1) Architectural services relating to eligible improvements
  - (2) Chimney and flue repair, when it improves the overall appearance of a building
  - (3) Exit door (exterior) and hardware installation, repair and replacement, where current doors do not meet the building code or it will improve the overall appearance of the building



- (4) Exterior permanent lighting
  - (5) Exterior handicap accessibility improvements not including sidewalks pursuant to Illinois Accessibility Code
  - (6) Gutters
  - (7) Landscaping and permanent planters
  - (8) Painting of the exterior surface of buildings
  - (9) Removal of non-original siding
  - (10) Repair or restoration of original exterior
  - (11) Retaining wall, on Turner Court
  - (12) Roofing replacement and repairs within the Turner Junction Historic District that are part of the historical facade
  - (13) Shutter and awning repair, replacement or additions
  - (14) Signs (permanent) new exterior signs or repair and replacement of existing exterior signs
  - (15) Stair, porch, railing, exit repair, replacement or installation
  - (16) Terraces, on Turner Court
  - (17) Wall (exterior) repair and rebuilding, including cleaning, sealing, tuckpointing, and painting
  - (18) Windows, repair of frames, sills, glazing, replacement of glass, and installation of new windows
- (b) Upon the request of an applicant, the City staff shall review improvements not specifically listed as eligible or ineligible under this article and make a recommendation to the City Council. Upon receipt of the recommendation of City staff, the City Council may, in its discretion, approve facade program funding with respect to such improvements.

#### **INELIGIBLE IMPROVEMENTS**

The following are ineligible for funding under the facade program:

- (a) Acquisition of property
- (b) Air conditioning and heating facilities
- (c) Within the Turner Junction Historic District, artificial architectural elements including, but not limited to, applied mansard fronts, and applied facades that would cover existing significant architectural elements or materials
- (d) Bartered work or services, direct or indirect, including, but not limited to, labor, architectural services, consulting, and acquisition of materials.
- (e) Electrical wiring or service upgrades
- (f) Elevators – repair or installation
- (g) Extermination of insects, rodents, vermin, and other pests in interior or exterior areas
- (h) Improvements completed or in progress prior to notification of approval
- (i) Interior floor or ceiling replacement and repair
- (j) Interior improvements including, but not limited to, remodeling and structural repairs
- (k) Loading docks

CITY OF WEST CHICAGO  
GUIDELINES FOR FACADE IMPROVEMENT GRANT PROGRAM

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- (l) New facilities, building additions, or expansion outside the Turner Junction Historic District
- (m) Plumbing
- (n) Purchase of furnishings, equipment, or other personal property which does not become a part of the real estate
- (o) Refinancing existing debt
- (p) Resurfacing of parking lots
- (q) Security grilles and screens
- (r) Sidewalks
- (s) Sprinklers, fire or smoke alarm systems
- (t) Improvements which are required to comply with a violation of the City of West Chicago Code of Ordinances including, but not limited to, the Zoning Ordinance and International Property Maintenance Code. Except that the cost of improvements that provide additional upgrade beyond the minimum code requirement shall be eligible.
- (u) Title reports and legal fees
- (v) Ventilation systems
- (w) Working capital
- (x) Improvements made by contractor not approved by the City Council
- (y) Improvements that do not comply with the approved Certificate of Appropriateness, if required, and/or building plans.
- (z) Work performed by construction or other companies that are owned wholly or in part by the building owner or his family.

**PROJECT COSTS**

The City Council may, in its discretion, approve the facade program grants for eligible improvements to properties within the Downtown Redevelopment Project Area, provided however:

- (a) That no grant shall be approved if the amount of such grant, together with the amount of all other grants approved in the same fiscal year, would exceed the amount appropriated for the facade program for that fiscal year.
- (b) That no grant shall exceed the lesser of: (a) fifty (50) percent of the project cost; or (b) ten thousand dollars (\$10,000.00), except as provided below:
  - (1) That an individual may be granted up to three (3) years of matching funding at any one time, so long as the total grant does not exceed thirty thousand dollars (\$30,000.00) and the property is not eligible for additional funding during that three-year period; and/or
  - (2) That an individual may be granted sixty-five (65) percent of the cost for the equipment and materials only, so long as he provides necessary documentation via three detailed estimates for the work, with the labor, equipment and materials components associated with the project listed separately so it can be evaluated.



- (c) That the total amount of all grants approved with respect to any building shall not exceed ten thousand dollars (\$10,000.00) in any fiscal year or thirty thousand dollars (\$30,000.00) over three (3) fiscal years.

**REHABILITATION GUIDELINES AND PROJECT APPLICATION; APPROVAL**

- (a) Each applicant for a grant under the facade program shall submit an application on approved forms available from the Community Development Department, including:
  - (1) Plans for the exterior improvements, which to the extent required by applicable law, shall be prepared by a licensed architect;
  - (2) An elevation drawing, plat of survey or site plan;
  - (3) Material and color sample(s) of improvements;
  - (4) Three (3) written estimates. Such estimates shall include the contractor's name, address, telephone number and list of references;
  - (5) Two (2) photographs of each existing facade proposed for improvements;
  - (6) A tract search report identifying the property owners of record and all mortgages, liens and other encumbrances of record, from a title insurance company qualified to do business in state;
  - (7) If applicable, a copy of the written consent from the property owner, signed installment sales contract and/or current lease; and
  - (8) A filing fee in the amount of two hundred dollars (\$200.00), refundable upon satisfactory completion of the project.
- (b) If the property is within the Turner Junction Historic District, the applicant shall concurrently file an application for a Certificate of Appropriateness with the Historical Preservation Commission. The applicant shall obtain any necessary Certificate of Appropriateness as a precondition to the City Council's consideration of the facade program application.
- (c) Facade program applications will be accepted each fiscal year, until budgeted and appropriated amounts are exhausted. The Community Development Department may, in its discretion, establish application deadlines from time to time.



- (d) The Community Development Department shall review applications in the order received and recommend for funding projects which have (1) completed the applications; (2) met any applicable application deadlines; (3) met the guidelines for funding; and (4) a commitment from, and the demonstrated ability of, the applicant pay the portion of the project costs that are not covered by the grant.
- (e) Upon completion of the Community Development Department's review, and the issuance of any necessary certificate of appropriateness, the department shall forward the application to the City Council, together with its recommendation.
- (f) The City Council shall determine whether, and the extent to which, the City will provide facade program funds for the proposed project. If the City Council approves the application, the City Council shall approve the amount of funding of the qualified contractor having submitted the lowest estimate, but that the applicant may use any of the three contractors submitting estimates. The applicant shall be responsible for paying the difference between the lowest estimate from the qualified contractor and the estimate from the contractor utilized.
- (g) All rehabilitation work shall be completed in conformance with the codes and ordinances of the City. If the City project requires a building permit, the City shall issue such building permit at fifty (50) percent of the regular permit fee. Construction shall be monitored by building inspectors.
- (h) Upon completion of the project, which shall be evidenced by final approval from the Community Development Department or the issuance of an occupancy permit, the City shall pay the amount authorized by the City Council, provided that: (1) the contractor selected by the City Council was used for the entire project; (2) the plan approved by the City Council was strictly adhered to; and (3) there was strict compliance with the terms of any applicable Certificate of Appropriateness.
- (i) The City reserves the right to reject any or all applications received.
- (j) The City reserves the right to withdraw a commitment for funding or recall a grant for any project which is not completed within six (6) months of the issuance of the building permit for the project, or, if no building permit is required for the project, within six (6) months of the approval of the grant by the City Council.
- (k) The City reserves the right to withdraw a commitment for funding or recall a grant if any of the eligibility requirements are violated, including, but not limited to, the use of the contractor selected by the City Council and strict compliance with the terms of the plan approved by the City Council and the Certificate of Appropriateness, if any.

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GUIDELINES FOR FACADE IMPROVEMENT GRANT PROGRAM

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- (1) All proposed exterior improvements within the Turner Junction Historic District shall be compatible with the downtown area; specifically, these improvements should:
  - (1) Focus on restorative construction;
  - (2) Be compatible with original building material and style;
  - (3) Be compatible with predominant color schemes and window configurations; and
  - (4) Be compatible with the general architectural theme of the historic district.

facguide/le  
11/03

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM  
APPLICATION INSTRUCTIONS

1. Complete all sections of the Facade Improvement Grant Program Application. Failure to complete all sections will result in delay of application processing and could result in denial of application.
2. Attach the following to completed application:
  - a. A plat of survey or site plan showing the location and dimension of the primary building.
  - b. Elevation drawing of the proposed improvements.
  - c. Two (2) photographs of the existing facade(s).
  - d. Three (3) written estimates on approved forms available from the Community Development Department. Such estimates shall include the contractor's name, address, telephone number and list of references.
  - e. Material and color samples of proposed improvements (paint color, brick sample, etc.)
3. Where applicable, submit an Application for a Certificate of Appropriateness.
4. Submit \$200.00 filing fee, refundable upon satisfactory completion of the project.
5. All appropriate permits (building, electrical, heating, etc.) shall be acquired from the City of West Chicago
8. Any additional information helpful to understanding the proposal may be attached to this form.

SUBMIT DOCUMENTS TO:

CITY OF WEST CHICAGO  
COMMUNITY DEVELOPMENT DEPARTMENT  
475 MAIN STREET  
WEST CHICAGO, IL 60185  
(630) 293-2200





**CITY OF WEST CHICAGO**  
**APPLICATION FOR FACADE IMPROVEMENT PROGRAM**

COA# \_\_\_\_\_

DATE RECEIVED \_\_\_\_\_

BUILDING PERMIT# \_\_\_\_\_

**APPLICANT AND PROPERTY OWNER INFORMATION**

APPLICANT'S NAME	EDUARDO HERNANDEZ	
APPLICANT'S ADDRESS	[REDACTED]	
APPLICANT'S TELEPHONE NUMBER	[REDACTED]	
ARE YOU THE PROPERTY OWNER?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
IF SO, OWNERSHIP STATUS	<input checked="" type="checkbox"/> SOLE OWNER	<input type="checkbox"/> PARTNERSHIP
	<input type="checkbox"/> CORPORATION	<input type="checkbox"/> TRUST
ARE YOU THE TENANT?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
IF SO, YEARS REMAINING ON LEASE?	_____	
IF YOU ARE NOT THE PROPERTY OWNER, PLEASE PROVIDE:		
OWNER'S NAME	_____	
OWNER'S ADDRESS	_____	
OWNER'S TELEPHONE NUMBER	_____	

**PROPERTY INFORMATION**

PROPERTY ADDRESS OF PROJECT
11211 N. W. 4TH AVE. CHICAGO, IL 60640
LEGAL DESCRIPTION
1/4 SECTION 18, T11N, R10E, S1E
BUSINESS NAME
1/1A
HISTORIC BUILDING NAME

CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

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TENANTS	BUSINESS OWNER'S NAME	SQ. FT.	LEASE TERMS
LAURE BOUTZ / MARIANA LOPEZ	3rd Floor	1800	7-18 THRU 6-30-20
APRONAGE LIZBZ JANSZAKO	2-B	750	10-1-2015 THRU 4-7-21
ALEX TORRES / AET PIZZA	2-A	850	3-1-2019 THRU 2-28-20
EMANUEL CRABER SUPER APC #1	#1	650	4-1-2018 THRU 3-31-20
EMANUEL CRABER ROMANA #2	#2	1050	10-1-2015 THRU 3-31-21
NUMBER OF STORIES	2	BASEMENT?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
ARE THERE DWELLING UNITS ABOVE THE FIRST FLOOR?		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
IF YES, NUMBER OF DWELLING UNITS?		3	

**PROJECT**

DESCRIBE YOUR PROJECT

PLEASE SEE EXHIBIT "2" HEREIN ATTACHED

CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

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**FUNDING**

AMOUNT OF GRANT REQUEST	\$ 10,000.00
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**ITEMIZATION OF THE WORK TO BE PERFORMED TO MAKE THE NECESSARY REPAIRS**

DESCRIPTION	ESTIMATED COST
ARCHITECT	\$
AWNINGS	\$
CHIMNEY	\$
CORNICE	\$
DOORS	\$
FASCIA	\$
FLASHING	\$
GUTTERS	\$
LANDSCAPING	\$
LIGHTING	\$
PAINTING	\$
PORCHES/RAILINGS	\$
ROOF	\$ 24,000.00
SIGNS	\$
SOFFIT	\$
STAIRS	\$
WALLS	\$
WINDOWS	\$
OTHER	\$
TOTAL	\$ 24,000.00



# EXHIBIT 1

PROPERTY ADDRESS: 112 MAIN ST. WEST CHICAGO, IL. 60685

PROPERTY INDEX NUMBER: 04-09-204-006

## LEGAL DESCRIPTION RIDER

A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF DEPOT STREET IN THE TOWN OF JUNCTION 30 FEET NORTHWESTERLY FROM A POINT IN SAID SOUTH LINE OF SAID STREET, WHERE THE SOUTHEASTERLY LINE OF LOT 3 BLOCK 2 OF SAID TOWN, WHEN EXTENDED INTERSECTS SAID SOUTH LINE OF SAID STREET: THENCE SOUTHWESTERLY AT RIGHT ANGLES WITH SAID DEPOT STREET, 60 FEET: THENCE NORTHWESTERLY PARALLEL WITH SAID DEPOT STREET 30 FEET: THENCE NORTHEASTERLY 60 FEET TO AND AT RIGHT ANGLES TO SAID DEPOT STREET: THENCE SOUTHEASTERLY ON THE SOUTH LINE OF SAID DEPOT STREET, 30 FEET TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, IL.

# EXHIBIT "2"

112 Main St West Chicago, IL. 60185

## Re- Roof Project

### Description:

Existing roof is a 2-layer roof. 1<sup>st</sup> layer is built-up roof and the 2<sup>nd</sup> layer is 1 membrane of Modified Bitumen.

Roof is at the end of its useful life and has begun to fail.

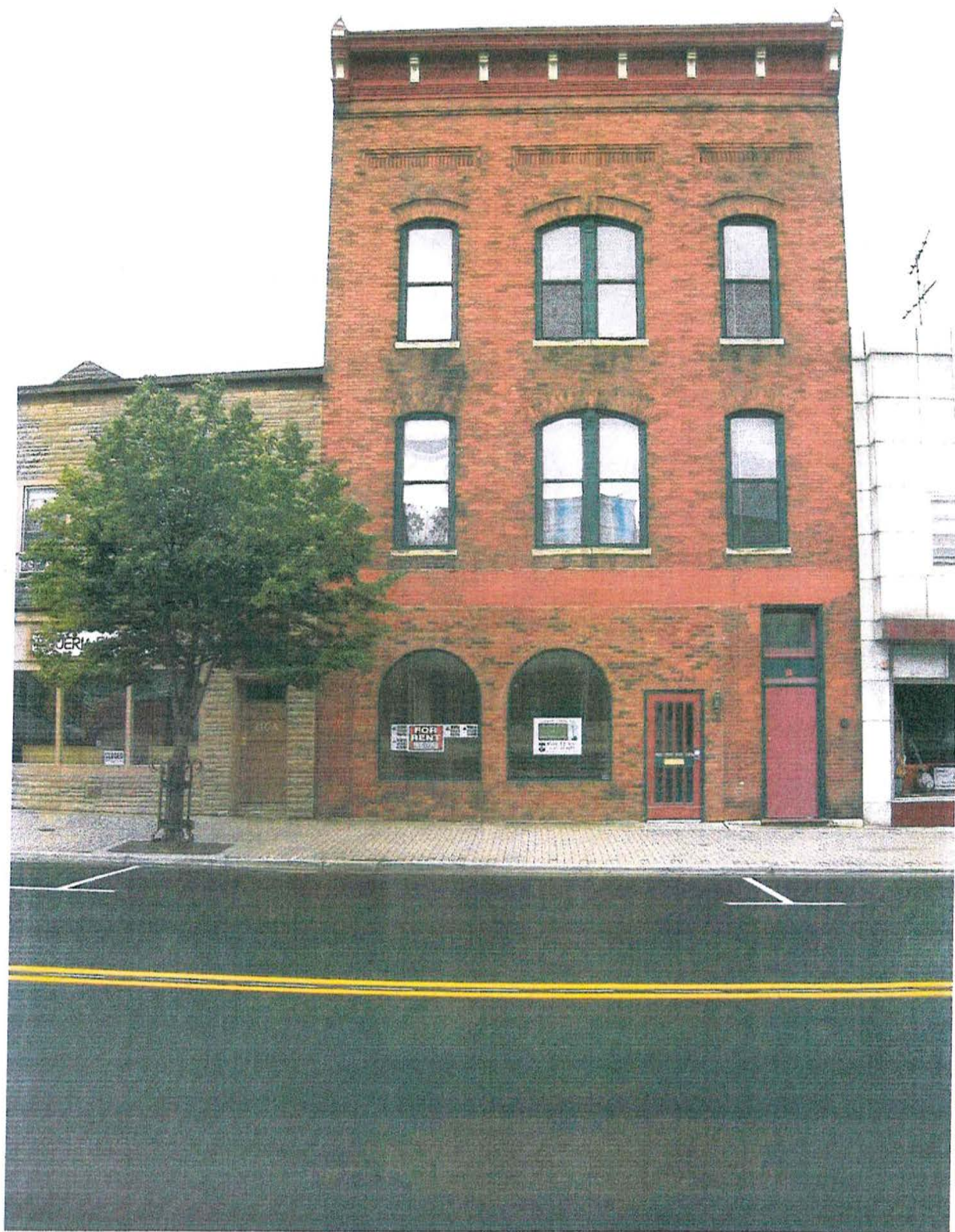
### Project:

The project consists of replacing-new the existing "Cold Roof" with the same type of roof. No insulation will be installed over the roof deck as there is currently sufficient and adequate insulation below the roof deck (Over the ceiling - between the rafters).

We will:

- Tear-Off existing roof.
- Repair and/or replace wooden roof deck surface as necessary to procure a sound Roof Deck to work from.
- Remove existing coping tiles and repair the parapet walls as needed.
- Install a base membrane to the wooden deck.
- Install waterproof membrane (Hot Torch) over the base membrane and run it up-and-over the parapet walls.
- Install "Like Kind" coping tiles over the parapet walls.

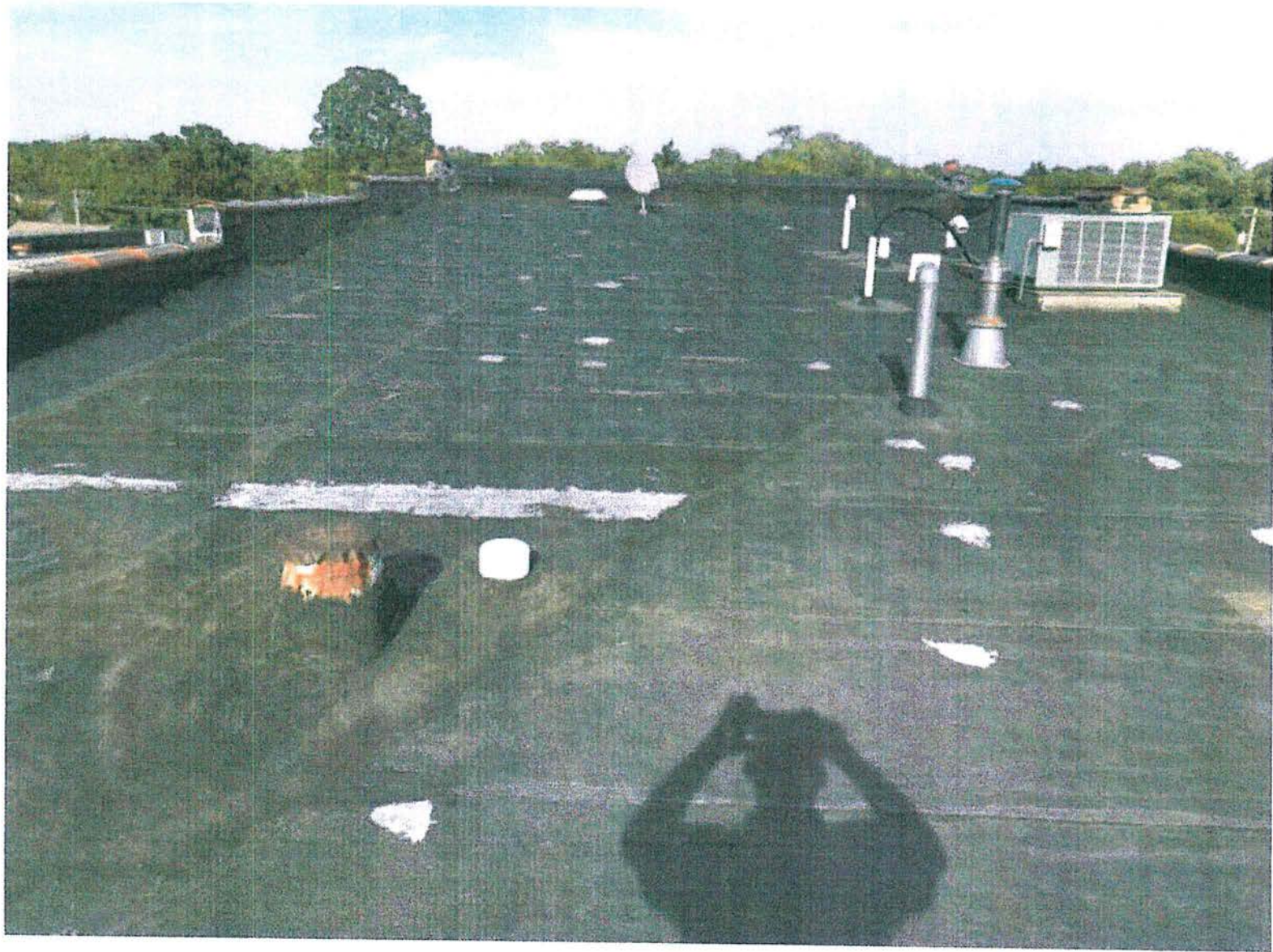












**WHEATON ROOFING INC. est 1959**

**141 W GRANDLAKE AVE**

**WEST CHICAGO IL 60185**

**IL LIC#104-003814/PH 630-668-8532**

Eddie Hernandez

112 Main St

West Chicago IL 60185

Wheaton Roofing proposes to provide the following service and materials to:

1. Remove existing roofing material down to wooden deck.
2. Install plywood or other decking as needed. Plywood cost \$60.00 per 4x8 sheet removed and installed. 1X stock is billed at \$5.00 per foot. Steel decking material replaced as needed for market price plus labor at \$50.00 per man hour.
3. Install 5" insulation and 1/2" recovery board mechanically fastened to decking with appropriate length screws and plates as needed.
4. Install glass base self- adhering membrane to recovery board.
5. Install GAF 20 year torch applied Rubberoid Modified Bitumen membrane with all proper flashings and curbs.
6. Install termination bar at base of clay coping.
7. Seal all flashings and protrusions as well as rebuilding a pad for air conditioner and installing with roof.
8. All plumbing flashings to be replaced with new lifetime lead flashings.
9. Provide flashing for air conditioner unit when installed.
10. Clay coping will be removed and replaced as needed for time and material cost.

The price of this roofing project is \$24,000.00 plus the additional items above as specified. Our workmanship guarantee is 5 years from date of completion. This project will most likely take 3-5 working days to complete under normal conditions (no rain or high winds). Again thank you for contacting us at Wheaton Roofing Inc.,

Company authorized signature \_\_\_\_\_

Customer authorized signature \_\_\_\_\_

Andy Hinton Sales Supervisor 630.501.8792



# Casa Grande Realty, Inc.

## Work Estimate

Proposal Date: 02-20-2020

### Project:

Tear-Off Existing Roof and Replace-New

### Owner:

Eduardo Hernandez

### Property Location:

112 Main St West Chicago, IL. 60185

### Price for this Project:

\$ 27,000.00

## Existing Roof:

The existing roof system is a "Cold Roof" system with sufficient/adequate insulation below the roof deck (Over the ceiling - between the rafters). This Roof is at the end of its useful life and has begun to fail.

The existing roof consists of:

- \* Decking- Wood
- \* 1st layer- BUR (Built Up Roof)
- \* 2nd layer- Modified Bitumen
- \* Parapet Walls on both sides of the building with Clay Coping Tiles will need to be inspected at the time of Roof Removal to assess its condition.
- \* A 4x7 Galvanized gutter at the back of the building is all rusted-out with large holes present.
- \* 1 Down-Spout is missing.
- \* Brick Chimney is in bad shape and needs to be Tuck-Pointed

# Casa Grande Realty, Inc.

## Scope of Work:

- Disconnect/Reconnect and Move as necessary all HVAC systems
- Tear-Off existing roof down to the deck. Materials/Debris will be cleaned up and hauled away.
- Repair and/or replace wooden roof deck surface as necessary to procure a sound Roof Deck to work from.
- Remove existing coping tiles and repair the parapet walls as needed.
- Mechanically Install Recovery Board to the wooden deck with GAF non-corrosive screws and plates.
- Install a glass base self-adhering membrane to the recovery board.
- Install a GAF 20-Year Torch Applied Ruberoid Modified Bitumen waterproof membrane over the base membrane and run it up-and-over the parapet walls.
- Install "Like Kind" coping tiles over the parapet walls.
- Seal all flashings and protrusions as well as rebuilding a pad for the Air Conditioner.
- All plumbing flashings to be replaced with new lifetime lead flashings.
- Install a new 4x7 Galvanized Colored (Color TBD) gutter at the back of the building.
- Install 1 Down Spout at the back of the building to match the existing-one.
- Any additional work that needs to be performed for the completion of the installation of the new roof and not specified in this proposal, will be billed to the Owner for Time and Material.

\*\*\* Additional labor not specified above will be billed to the owner at \$ 50.00 per man hour

---

Casa Grande Realty, Inc.

Family Owned and Operated Since 1949

## LINDHOLM ROOFING, INC.

205 E. Butterfield Road  
Elmhurst, Illinois 60126

(630) 279-7700

Fax (773) 283-1933

info@lindholmroofing.com



All types of roofing  
All types of repairs  
Gutters & Downspouts  
Siding/Soffit/Fascia  
Windows  
Tuckpointing

Commercial  
Residential

Quality Work  
Fully Insured

100% SATISFACTION  
GUARANTEED  
OR YOUR MONEY  
BACK

Eduardo Hernandez

10/01/2019

*Lindholm Roofing, with 70 years of experience, proposes to do the following work at  
112 Main St., West Chicago, IL 60185:*

### RE: NEW DUROLAST ROOF TO BUILDING

1. We will remove gutters and dispose.
2. We will remove clay copings and salvage if possible.
3. We will remove and dispose of wood HVAC curb.
4. We will tear off up to 3" of roofing and wall flashings.
5. If repairs to brick wall are needed, they will be billed at additional cost to the customer not included in the original contract price. (Lath and cement plaster at \$16.00 per square foot.) (Rebuild brick walls \$56.00 per square foot per garse.)
6. We will install a slip sheet over existing surface.
7. We will install Durofold 1/2" insulation over existing surface.
8. 7" galvanized box gutter with two 5" downspouts with a two-year guarantee.
9. 2-piece 4" compression gravel stop at front of building.
10. We will install new Bilco hatch.



Family Owned and Operated Since 1949

## LINDHOLM ROOFING, INC.

205 E. Butterfield Road  
Elmhurst, Illinois 60126

(630) 279-7700

Fax (773) 283-1933

info@lindholmroofing.com



All types of roofing  
All types of repairs  
Gutters & Downspouts  
Siding/Soffit/Fascia  
Windows  
Tuckpointing

MAIN WORKING  
LINDHOLM ROOFING, INC.  
205 E. BUTTERFIELD RD.  
ELMHURST, IL 60126

Commercial  
Residential

Quality Work  
Fully Insured

11. We will provide and install a Duro-Last Roof system. Duro-Last is a PVC membrane containing UV stabilizers, UV absorbents, heat stabilizers, flame retardant, and biocides. This system has been engineered for longevity and cost effectiveness. The membrane and flashings shall be precision fabricated to your buildings specifications in a controlled factory environment. A Duro-Last Roofing factory representative will inspect the installation and upon final approval, a 20 year transferable full material warranty will be issued. (50 Mil) (Orange Warranty)

\*This comprehensive 15-year No Dollar Limit (NDL) warranty provided by Durolast roofing is transferable, has no exclusions for ponding water, and provides coverage against consequential damages that result from defects in the Duro-Last material and/or installation workmanship.

\*There is no additional charge for your Duro-Last standard warranty. That means you get the industry's best rooftop protection for FREE. (Please inquire about details of warranty.)

NO MAINTENANCE PROGRAM REQUIRED - Duro-Last does not require you to invest in a roof maintenance program often stipulated by other manufacturers.

12. Flash gutters, walls, curbs, and pipes with Durolast product.
13. Re-install clay copings, new copings will be billed at \$59.00 each additional as needed.
14. All work will be done by fully insured workmen.

TERMS: 1/3 DOWN PAYMENT, BALANCE DUE UPON COMPLETION OF WORK

\*We accept Check/Cash/Visa/Mastercard/Quickpay(lindholmroofing@gmail.com). There is a 3% convenience fee on credit transactions over \$500.00.\*

- ❖ Notes: 1) Customer confirmed attic insulation to code.
- ❖ I have inspected the project and would be happy to meet in person with you to discuss the project. Please call me if you would like to arrange a meeting.

Family Owned and Operated Since 1949

## LINDHOLM ROOFING, INC.

205 E. Butterfield Road  
Elmhurst, Illinois 60126

(630) 279-7700

Fax (773) 283-1933

info@lindholmroofing.com

MAIN WAREHOUSE  
5500 N. MILWAUKEE  
CHICAGO, ILLINOIS



Commercial  
Residential

All types of roofing  
All types of repairs  
Gutters & Downspouts  
Siding/Soffit/Fascia  
Windows  
Tuckpointing

Quality Work  
Fully Insured

**PRICE**

**\$34,329.00**

ITEMS BELOW ARE OPTIONAL. PLEASE INITIAL THOSE WITH WHICH YOU WOULD LIKE TO PROCEED.

\_\_\_\_\_ 1) Build HVAC curb on roof deck with foam board and flash with Durolast.

**PRICE:** \_\_\_\_\_ **AN ADDITIONAL \$1,400.00 Option**

\_\_\_\_\_ 2) Rebuild brick chimney.

**PRICE:** \_\_\_\_\_ **AN ADDITIONAL \$3,570.00 Option**

❖ FINANCING IS AVAILABLE FOR MOST JOBS

\*The cost of any necessary permits and/or fees is not included. We will make the application using our STATE LICENSE and our INSURANCE. You will pay the actual COSTS ONLY. Owner is responsible for removing and/or covering personal items in the attic area. We cannot be responsible for damage to items left in the attic, clean-up of the attic area due to debris falling through the spacing in deck boards, nail pops, or cracks caused by the roof removal and/or replacement process. Special care should be taken to protect any wall hangings and pictures or any item that could fall due to the vibrations. This contract does not include, unless expressly specified, any mold abatement, removal or cleaning. In addition, any warranty given to you under this contract does not include the cost to abate, remove or clean mold that may be found on the premises in the future. A service fee of 3% per month will be added to any balance over 15 days, with an annual rate of 18%. Any costs, including legal costs, incurred by Lindholm Roofing to collect payments will be paid by customer. Lindholm Roofing agrees to include purchaser as an additional insured for general liability as respects all work performed on their behalf.

LINDHOLM ROOFING, INC  
STATE LICENSE NO. 104—001033

\_\_\_\_\_  
PRINT NAME

\_\_\_\_\_  
DATE

VINCENT PARADISO  
lr.vincentp@gmail.com  
Cell: (773) 706-9666 (mobile)

\_\_\_\_\_  
PURCHASER SIGNATURE



## CITY OF WEST CHICAGO

### CITY COUNCIL AGENDA ITEM SUMMARY

**ITEM TITLE:**

Downtown Façade Grant Program Agreement  
128 Main Street  
Resolution No. 20-R-0041

**AGENDA ITEM NUMBER:**8. N.**FILE NUMBER:****COMMITTEE AGENDA DATE:****COUNCIL AGENDA DATE:** July 20, 2020**STAFF REVIEW:** Tom Dabareiner, AICP**SIGNATURE****CITY ADMINISTRATOR REVIEW:** Michael Guttman**SIGNATURE****ITEM SUMMARY:**

Eduardo Hernandez, property owner of the building at 128 Main Street, has requested Façade Grant Program funding for repairing/replacing the roof on the building. The proposed improvement is an eligible expenditure under the Program's guidelines and complies with the City's Building and Zoning Code regulations.

Mr. Hernandez submitted three (3) estimates for the roof replacement, as required: 1) Wheaton Roofing for \$3,600.00; 2) Casa Grande Realty, Inc. for \$4,500.00; and 3) Lindholm Roofing for \$5,029.00. The City's contribution is typically 50% of the lowest estimated cost(s), which in this instance is \$1,800.00 for the project listed above.

The funding for the Program comes from the downtown T.I.F. district, if sufficient funding is available for the Program. City staff determined that there are sufficient funds available to reimburse up to \$1,800.00 to Mr. Hernandez for the successful repair/replacement of the building's roof per the attached scope of work and in accordance with the Program's guidelines.

**ACTIONS PROPOSED:**

Consideration of a Façade Grant award in an amount not to exceed \$1,800.00 to for the repair/replace the roof at 128 Main Street. A Resolution and Grant Agreement reflecting an amount of \$1,800.00 are attached.

**COMMITTEE RECOMMENDATION:**

In consultation with the Development Committee Chair, this item has been moved directly to City Council for consideration.



**RESOLUTION NO. 2020-R-0041**

**A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE  
A CERTAIN DOWNTOWN FAÇADE GRANT PROGRAM AGREEMENT  
EDUARDO HERNANDEZ – 128 MAIN STREET**

BE IT RESOLVED by the City Council of the City of West Chicago, in regular session assembled, that the Mayor is hereby authorized to execute a certain Downtown Façade Grant Program Agreement by and between Eduardo Hernandez and the City of West Chicago, a copy of which is attached hereto and incorporated herein as Exhibit “A”.

APPROVED this 20<sup>th</sup> day of July, 2020.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Mayor Ruben Pineda

ATTEST:

\_\_\_\_\_  
City Clerk Nancy M. Smith

**Exhibit A to Resolution 2020-R-0041**

**DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT**

This DOWNTOWN REHABILITATION FACADE PROGRAM AGREEMENT (hereinafter referred to as the "AGREEMENT") is entered into this 20<sup>th</sup> day of July, 2020, by and between the City of West Chicago, DuPage County, Illinois, an Illinois municipal corporation (hereinafter referred to as the "CITY") and Eduardo Hernandez, (hereinafter referred to as the "APPLICANT") (the CITY and the APPLICANT are hereinafter collectively referred to as the "PARTIES");

**WITNESSETH:**

WHEREAS, the APPLICANT is the owner of certain real property located at 112 Main Street, in West Chicago, (hereinafter referred to as the "SUBJECT REALTY") and legally described on Exhibit "A", which is attached hereto and incorporated herein; and,

WHEREAS, the SUBJECT REALTY is located within the CITY'S Downtown Redevelopment Project Area (hereinafter referred to as the "AREA"), duly established pursuant to the Tax Increment Allocation Redevelopment Act (hereinafter referred to as the "ACT"), 65 ILCS 5/11-74.4-1 et seq.; and,

WHEREAS, Chapter 4, Article V of the CITY'S Code of Ordinances establishes specific rules and regulations with respect to the alteration of historic structures in the AREA; and,

WHEREAS, Chapter 4 Article VI of the CITY'S Code of Ordinances establishes a facade program (hereinafter referred to as the "PROGRAM") whereby the CITY may make financial contributions toward the cost of certain exterior improvements with respect to commercial structures located within the AREA; and,

WHEREAS, the SUBJECT REALTY is improved with a commercial structure upon which the APPLICANT proposes to complete certain exterior improvements (hereinafter referred to as the "IMPROVEMENTS"), as detailed and depicted on the improvement plans and specifications (hereinafter referred to as the "PLANS"), which are attached hereto and incorporated herein as Exhibit "B"; and,

WHEREAS, the APPLICANT has applied, pursuant to the PROGRAM, for a financial contribution from the CITY toward the cost of the IMPROVEMENTS as detailed and depicted on the PLANS; and,

WHEREAS, the CITY has determined that it would further the achievement of the objectives of the AREA for the commercial structure located upon the SUBJECT REALTY to be improved as provided for on the PLANS and that said IMPROVEMENTS would qualify for financial contributions from the CITY pursuant to the PROGRAM; and,

WHEREAS, the CITY desires the IMPROVEMENTS be completed on the SUBJECT REALTY and agrees to financially contribute toward such IMPROVEMENTS based on the terms and conditions of this AGREEMENT and the PROGRAM; and,

WHEREAS, the APPLICANT desires to complete the IMPROVEMENTS in accordance with the terms and conditions of this AGREEMENT and the PROGRAM and desires to receive a financial contribution from the CITY for the completion of said IMPROVEMENTS.



WHEREAS, on February 25<sup>th</sup>, 2020 the CITY'S Historical Preservation Commission approved Certificates of Appropriateness No. 20-04 for the IMPROVEMENTS.

NOW, THEREFORE, in consideration of the foregoing premises and in further consideration of the mutual covenants, conditions and agreements herein contained, the PARTIES hereto agree as follows:

#### ARTICLE I INCORPORATION OF RECITALS

The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Article I and the same shall continue for so long as this AGREEMENT is of force and effect.

#### ARTICLE II AUTHORITY

This AGREEMENT is made and entered into by the PARTIES pursuant to and in accordance with the provisions of the ACT.

#### ARTICLE III IMPROVEMENTS TO THE SUBJECT REALTY

The APPLICANT shall complete the IMPROVEMENTS on the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT and in full compliance with all applicable codes, ordinances, rules, regulations, permits and any conditions attached thereto, whether imposed by the CITY or any other unit of local government or any Federal, State or governmental agency having jurisdiction over the SUBJECT REALTY or any portion thereof, and shall complete the IMPROVEMENTS in a good and workmanlike manner.

The APPLICANT shall furnish, or cause to be furnished, at his own expense, all the necessary materials, labor and equipment to complete the IMPROVEMENTS in accordance with the PLANS. The IMPROVEMENTS shall be subject to inspection by, and approval of, the CITY.

The APPLICANT shall pay to the CITY all plan review, inspection and other fees, prior to the issuance of any required building permits for the IMPROVEMENTS on the SUBJECT REALTY, as required by the CITY'S Code of Ordinances.

The APPLICANT shall complete the IMPROVEMENTS within twelve (12) months of the issuance of the building permit by the CITY for such IMPROVEMENTS. If the APPLICANT fails to complete the IMPROVEMENTS within the established timeframe the CITY may rescind the financial contribution agreed upon herein in this AGREEMENT.

#### ARTICLE IV REDEVELOPMENT OF THE SUBJECT REALTY

Upon the APPLICANT'S completion of the IMPROVEMENTS on the SUBJECT REALTY as provided hereinabove, the APPLICANT shall give notice of completion to the CITY, and shall provide the CITY with all receipts, sworn contractor statements and lien waivers (hereinafter referred to as the "DOCUMENTATION") showing that all persons who have done work, or have furnished materials with respect to the IMPROVEMENTS, and might be entitled to a



lien therefore under any laws of the State of Illinois, have been paid in full for their work and are no longer entitled to such lien. The CITY shall inspect the IMPROVEMENTS as soon as practicable after receipt of the DOCUMENTATION, and if the IMPROVEMENTS are found to be in full compliance with the terms of this AGREEMENT and all applicable codes, ordinances, rules, regulations, permits and conditions as provided hereinabove, the CITY shall issue a final inspection report approving the IMPROVEMENTS. The City Council, following the issuance of said final inspection report and receipt of all of the required DOCUMENTATION, shall authorize payment of the CITY'S financial contribution toward the IMPROVEMENTS pursuant to the PROGRAM in an amount equal to the lesser of One Thousand Eight Hundred Dollars and Zero Cents (\$1,800.00), or one half of the amount actually paid by the APPLICANT for the IMPROVEMENTS, as indicated on the DOCUMENTATION submitted to the CITY, whichever is less.

#### ARTICLE V

##### TIME

Time is of the essence under this AGREEMENT and all time limits set forth herein shall be mandatory and shall not be waived except by a lawfully authorized and executed written waiver amendment to this AGREEMENT by the PARTIES excusing such timely performance.

#### ARTICLE VI

##### AMENDMENTS

This AGREEMENT sets forth all the promises, inducements, agreements, conditions and undertakings between the APPLICANT and the CITY relative to the IMPROVEMENTS identified herein this AGREEMENT, and there shall be no promises, agreements, conditions or understandings, either oral or written, express or implied, between them, other than as herein set forth. No subsequent alteration, amendment, change or addition to this AGREEMENT shall be binding upon the PARTIES hereto unless authorized in accordance with the law and reduced in writing and signed by the PARTIES. However, whenever under the provisions of this AGREEMENT any notice or consent of the CITY or the APPLICANT is required, or the CITY or the APPLICANT is required to agree or to take some action at the request of the other, such approval or such consent of such request shall be given for the CITY, unless otherwise provided herein, by the Mayor or his designee and for the APPLICANT by the APPLICANT or any agent as the APPLICANT so authorizes.

#### ARTICLE VII

##### NOTICES

All notices and requests required pursuant to this AGREEMENT shall be sent by certified mail as follows:

To the APPLICANT:	Eduardo Hernandez 128 Main Street West Chicago, IL 60185
-------------------	--

To the CITY:

City of West Chicago  
475 Main Street  
West Chicago, Illinois 60185

or at such other addresses as either of the PARTIES may indicate in writing to the other either by personal delivery or by certified or registered mail, return receipt requested, with proof of delivery thereof.

ARTICLE VIII  
GOVERNING LAWS

This AGREEMENT shall be construed and enforced in accordance with the laws of the State of Illinois.

ARTICLE IX  
COUNTERPARTS

This AGREEMENT may be executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

IN WITNESS WHEREOF, the PARTIES hereto have set their hands and seals on the date first above written.

CITY OF WEST CHICAGO, an Illinois  
Municipal Corporation,

By: \_\_\_\_\_  
Mayor Ruben Pineda

ATTEST: \_\_\_\_\_  
City Clerk Nancy M. Smith

By: \_\_\_\_\_  
Eduardo Hernandez

STATE OF ILLINOIS        )  
                                      )  
COUNTY OF DU PAGE     )       SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Ruben Pineda, Mayor of the City of West Chicago, and Nancy M. Smith, City Clerk, personally known to me to be the same persons whose names are set forth on the foregoing instrument as such Mayor and City Clerk respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth; and the said City Clerk then and there acknowledged that she, as custodian of the corporate seal of said City, did affix the corporate seal of said City to said instrument, as her own free and voluntary act and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public



STATE OF ILLINOIS       )  
                                      )  
COUNTY OF DU PAGE     )       SS.

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Eduardo Hernandez, personally known to me to be the same person whose name is set forth on the foregoing instrument appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public

## EXHIBIT A

### Subject Realty Legal Description

## EXHIBIT B

(Insert PLANS here)



128 Main St West Chicago, IL 60185

**CITY OF WEST CHICAGO**  
**GUIDELINES FOR FACADE IMPROVEMENT GRANT PROGRAM**

**PROGRAM PURPOSE**

The purpose of the facade program is to encourage the rehabilitation of the exteriors of commercial property in the City of West Chicago Downtown Redevelopment Project Area by establishing a program where the City will provide a limited match of private funds in the form of grants to be used for building facade renovation.

**ELIGIBLE PROPERTIES**

Commercial properties within the Downtown Redevelopment Project Area are eligible for participation in this program. Residential properties, including apartment buildings, are not eligible. Dwelling units, when accessory to a commercial building, are eligible.

**ELIGIBLE APPLICANTS**

- (a) Facade program applications may be submitted by:
- (1) The owner of property to be rehabilitated.
  - (2) A contract purchaser or holder of an option to purchase the property to be rehabilitated, with written permission of the owner, provided that no grant funds shall be distributed to such applicant prior to its closing on the purchase of the property.
  - (3) A lessee of the property to be rehabilitated, under a lease with an unexpired term of not less than five (5) years and with written permission of the owner.
- (b) No facade improvement grant shall be awarded, or grant funds distributed, to any applicant who is in default on its mortgage, installment land sale contract or lease with respect to the property, or who is delinquent in the payment of any tax, fine, fee or special assessment owed the City, the County, the State or the United States of America, as indicated by the records of the county recorder.

**ELIGIBLE IMPROVEMENTS**

- (a) In order to be eligible for a grant under the facade program, improvements must relate to a building facade that is visible from a public way, must be permanently fixed to the real estate, and must not restrict any future use of the building. Eligible improvements include, but are not limited to:
- (1) Architectural services relating to eligible improvements
  - (2) Chimney and flue repair, when it improves the overall appearance of a building
  - (3) Exit door (exterior) and hardware installation, repair and replacement, where current doors do not meet the building code or it will improve the overall appearance of the building

- (4) Exterior permanent lighting
  - (5) Exterior handicap accessibility improvements not including sidewalks pursuant to Illinois Accessibility Code
  - (6) Gutters
  - (7) Landscaping and permanent planters
  - (8) Painting of the exterior surface of buildings
  - (9) Removal of non-original siding
  - (10) Repair or restoration of original exterior
  - (11) Retaining wall, on Turner Court
  - (12) Roofing replacement and repairs within the Turner Junction Historic District that are part of the historical facade
  - (13) Shutter and awning repair, replacement or additions
  - (14) Signs (permanent) new exterior signs or repair and replacement of existing exterior signs
  - (15) Stair, porch, railing, exit repair, replacement or installation
  - (16) Terraces, on Turner Court
  - (17) Wall (exterior) repair and rebuilding, including cleaning, sealing, tuckpointing, and painting
  - (18) Windows, repair of frames, sills, glazing, replacement of glass, and installation of new windows
- (b) Upon the request of an applicant, the City staff shall review improvements not specifically listed as eligible or ineligible under this article and make a recommendation to the City Council. Upon receipt of the recommendation of City staff, the City Council may, in its discretion, approve facade program funding with respect to such improvements.

**INELIGIBLE IMPROVEMENTS**

The following are ineligible for funding under the facade program:

- (a) Acquisition of property
- (b) Air conditioning and heating facilities
- (c) Within the Turner Junction Historic District, artificial architectural elements including, but not limited to, applied mansard fronts, and applied facades that would cover existing significant architectural elements or materials
- (d) Bartered work or services, direct or indirect, including, but not limited to, labor, architectural services, consulting, and acquisition of materials.
- (e) Electrical wiring or service upgrades
- (f) Elevators – repair or installation
- (g) Extermination of insects, rodents, vermin, and other pests in interior or exterior areas
- (h) Improvements completed or in progress prior to notification of approval
- (i) Interior floor or ceiling replacement and repair
- (j) Interior improvements including, but not limited to, remodeling and structural repairs
- (k) Loading docks



CITY OF WEST CHICAGO  
GUIDELINES FOR FACADE IMPROVEMENT GRANT PROGRAM

PAGE 3

- (l) New facilities, building additions, or expansion outside the Turner Junction Historic District
- (m) Plumbing
- (n) Purchase of furnishings, equipment, or other personal property which does not become a part of the real estate
- (o) Refinancing existing debt
- (p) Resurfacing of parking lots
- (q) Security grilles and screens
- (r) Sidewalks
- (s) Sprinklers, fire or smoke alarm systems
- (t) Improvements which are required to comply with a violation of the City of West Chicago Code of Ordinances including, but not limited to, the Zoning Ordinance and International Property Maintenance Code. Except that the cost of improvements that provide additional upgrade beyond the minimum code requirement shall be eligible.
- (u) Title reports and legal fees
- (v) Ventilation systems
- (w) Working capital
- (x) Improvements made by contractor not approved by the City Council
- (y) Improvements that do not comply with the approved Certificate of Appropriateness, if required, and/or building plans.
- (z) Worked performed by construction or other companies that are owned wholly or in part by the building owner or his family.

**PROJECT COSTS**

The City Council may, in its discretion, approve the facade program grants for eligible improvements to properties within the Downtown Redevelopment Project Area, provided however:

- (a) That no grant shall be approved if the amount of such grant, together with the amount of all other grants approved in the same fiscal year, would exceed the amount appropriated for the facade program for that fiscal year.
- (b) That no grant shall exceed the lesser of: (a) fifty (50) percent of the project cost; or (b) ten thousand dollars (\$10,000.00), except as provided below:
  - (1) That an individual may be granted up to three (3) years of matching funding at any one time, so long as the total grant does not exceed thirty thousand dollars (\$30,000.00) and the property is not eligible for additional funding during that three-year period; and/or
  - (2) That an individual may be granted sixty-five (65) percent of the cost for the equipment and materials only, so long as he provides necessary documentation via three detailed estimates for the work, with the labor, equipment and materials components associated with the project listed separately so it can be evaluated.



- (c) That the total amount of all grants approved with respect to any building shall not exceed ten thousand dollars (\$10,000.00) in any fiscal year or thirty thousand dollars (\$30,000.00) over three (3) fiscal years.

**REHABILITATION GUIDELINES AND PROJECT APPLICATION; APPROVAL**

- (a) Each applicant for a grant under the facade program shall submit an application on approved forms available from the Community Development Department, including:
  - (1) Plans for the exterior improvements, which to the extent required by applicable law, shall be prepared by a licensed architect;
  - (2) An elevation drawing, plat of survey or site plan;
  - (3) Material and color sample(s) of improvements;
  - (4) Three (3) written estimates. Such estimates shall include the contractor's name, address, telephone number and list of references;
  - (5) Two (2) photographs of each existing facade proposed for improvements;
  - (6) A tract search report identifying the property owners of record and all mortgages, liens and other encumbrances of record, from a title insurance company qualified to do business in state;
  - (7) If applicable, a copy of the written consent from the property owner, signed installment sales contract and/or current lease; and
  - (8) A filing fee in the amount of two hundred dollars (\$200.00), refundable upon satisfactory completion of the project.
- (b) If the property is within the Turner Junction Historic District, the applicant shall concurrently file an application for a Certificate of Appropriateness with the Historical Preservation Commission. The applicant shall obtain any necessary Certificate of Appropriateness as a precondition to the City Council's consideration of the facade program application.
- (c) Facade program applications will be accepted each fiscal year, until budgeted and appropriated amounts are exhausted. The Community Development Department may, in its discretion, establish application deadlines from time to time.

- (d) The Community Development Department shall review applications in the order received and recommend for funding projects which have (1) completed the applications; (2) met any applicable application deadlines; (3) met the guidelines for funding; and (4) a commitment from, and the demonstrated ability of, the applicant pay the portion of the project costs that are not covered by the grant.
- (e) Upon completion of the Community Development Department's review, and the issuance of any necessary certificate of appropriateness, the department shall forward the application to the City Council, together with its recommendation.
- (f) The City Council shall determine whether, and the extent to which, the City will provide facade program funds for the proposed project. If the City Council approves the application, the City Council shall approve the amount of funding of the qualified contractor having submitted the lowest estimate, but that the applicant may use any of the three contractors submitting estimates. The applicant shall be responsible for paying the difference between the lowest estimate from the qualified contractor and the estimate from the contractor utilized.
- (g) All rehabilitation work shall be completed in conformance with the codes and ordinances of the City. If the City project requires a building permit, the City shall issue such building permit at fifty (50) percent of the regular permit fee. Construction shall be monitored by building inspectors.
- (h) Upon completion of the project, which shall be evidenced by final approval from the Community Development Department or the issuance of an occupancy permit, the City shall pay the amount authorized by the City Council, provided that: (1) the contractor selected by the City Council was used for the entire project; (2) the plan approved by the City Council was strictly adhered to; and (3) there was strict compliance with the terms of any applicable Certificate of Appropriateness.
- (i) The City reserves the right to reject any or all applications received.
- (j) The City reserves the right to withdraw a commitment for funding or recall a grant for any project which is not completed within six (6) months of the issuance of the building permit for the project, or, if no building permit is required for the project, within six (6) months of the approval of the grant by the City Council.
- (k) The City reserves the right to withdraw a commitment for funding or recall a grant if any of the eligibility requirements are violated, including, but not limited to, the use of the contractor selected by the City Council and strict compliance with the terms of the plan approved by the City Council and the Certificate of Appropriateness, if any.

- (l) All proposed exterior improvements within the Turner Junction Historic District shall be compatible with the downtown area; specifically, these improvements should:
  - (1) Focus on restorative construction;
  - (2) Be compatible with original building material and style;
  - (3) Be compatible with predominant color schemes and window configurations; and
  - (4) Be compatible with the general architectural theme of the historic district.

facguide/le  
11/03





CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

COA# \_\_\_\_\_

DATE RECEIVED \_\_\_\_\_

BUILDING PERMIT# \_\_\_\_\_

**APPLICANT AND PROPERTY OWNER INFORMATION**

APPLICANT'S NAME

APPLICANT'S ADDRESS

APPLICANT'S TELEPHONE NUMBER

ARE YOU THE PROPERTY OWNER? ☒ YES ☐ NO

IF SO, OWNERSHIP STATUS ☒ SOLE OWNER ☐ PARTNERSHIP  
☐ CORPORATION ☐ TRUST

ARE YOU THE TENANT? ☐ YES ☒ NO

IF SO, YEARS REMAINING ON LEASE? \_\_\_\_\_

IF YOU ARE NOT THE PROPERTY OWNER, PLEASE PROVIDE:

OWNER'S NAME \_\_\_\_\_

OWNER'S ADDRESS \_\_\_\_\_

OWNER'S TELEPHONE NUMBER \_\_\_\_\_

**PROPERTY INFORMATION**

PROPERTY ADDRESS OF PROJECT

LEGAL DESCRIPTION

BUSINESS NAME

HISTORIC BUILDING NAME

CITY OF WEST CHICAGO  
FACADE IMPROVEMENT GRANT PROGRAM  
APPLICATION INSTRUCTIONS

1. Complete all sections of the Facade Improvement Grant Program Application. Failure to complete all sections will result in delay of application processing and could result in denial of application.
2. Attach the following to completed application:
  - a. A plat of survey or site plan showing the location and dimension of the primary building.
  - b. Elevation drawing of the proposed improvements.
  - c. Two (2) photographs of the existing facade(s).
  - d. Three (3) written estimates on approved forms available from the Community Development Department. Such estimates shall include the contractor's name, address, telephone number and list of references.
  - e. Material and color samples of proposed improvements (paint color, brick sample, etc.)
3. Where applicable, submit an Application for a Certificate of Appropriateness.
4. Submit \$200.00 filing fee, refundable upon satisfactory completion of the project.
5. All appropriate permits (building, electrical, heating, etc.) shall be acquired from the City of West Chicago
8. Any additional information helpful to understanding the proposal may be attached to this form.

SUBMIT DOCUMENTS TO:

CITY OF WEST CHICAGO  
COMMUNITY DEVELOPMENT DEPARTMENT  
475 MAIN STREET  
WEST CHICAGO, IL 60185  
(630) 293-2200

PAGE 2

PROJECT

PLEASE SEE EXHIBIT "2" HEREIN ATTACHED



CITY OF WEST CHICAGO  
APPLICATION FOR FACADE IMPROVEMENT PROGRAM

PAGE 3

**FUNDING**

AMOUNT OF GRANT REQUEST	\$ 1,800.00
-------------------------	-------------

**ITEMIZATION OF THE WORK TO BE PERFORMED TO MAKE THE NECESSARY REPAIRS**

DESCRIPTION	ESTIMATED COST
ARCHITECT	\$
AWNINGS	\$
CHIMNEY	\$
CORNICE	\$
DOORS	\$
FASCIA	\$
FLASHING	\$
GUTTERS	\$
LANDSCAPING	\$
LIGHTING	\$
PAINTING	\$
PORCHES/RAILINGS	\$
ROOF	\$ 3,600.00
SIGNS	\$
SOFFIT	\$
STAIRS	\$
WALLS	\$
WINDOWS	\$
OTHER	\$
TOTAL	\$ 3,600.00

E XHIBIT

PROPERTY ADDRESS: 128 Main St West Chicago IL 60185

PROPERTY INDEX NUMBER: 04-10-108-001

WAREHOUSE LOT 6 OF THE VILLAGE OF TURNER IN THE NORTHEAST 1/4 OF THE  
NORTHEAST 1/4 OF SECTION 9 AND THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF  
SECTION 10, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL  
MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

EXHIBIT "2"

128 Main St West Chicago, IL. 60185

## Re- Roof Project

### Description:

Existing roof is a 1 layer of 3-Tab shingles

Roof is at the end of its useful life and has begun to fail.

### Project:

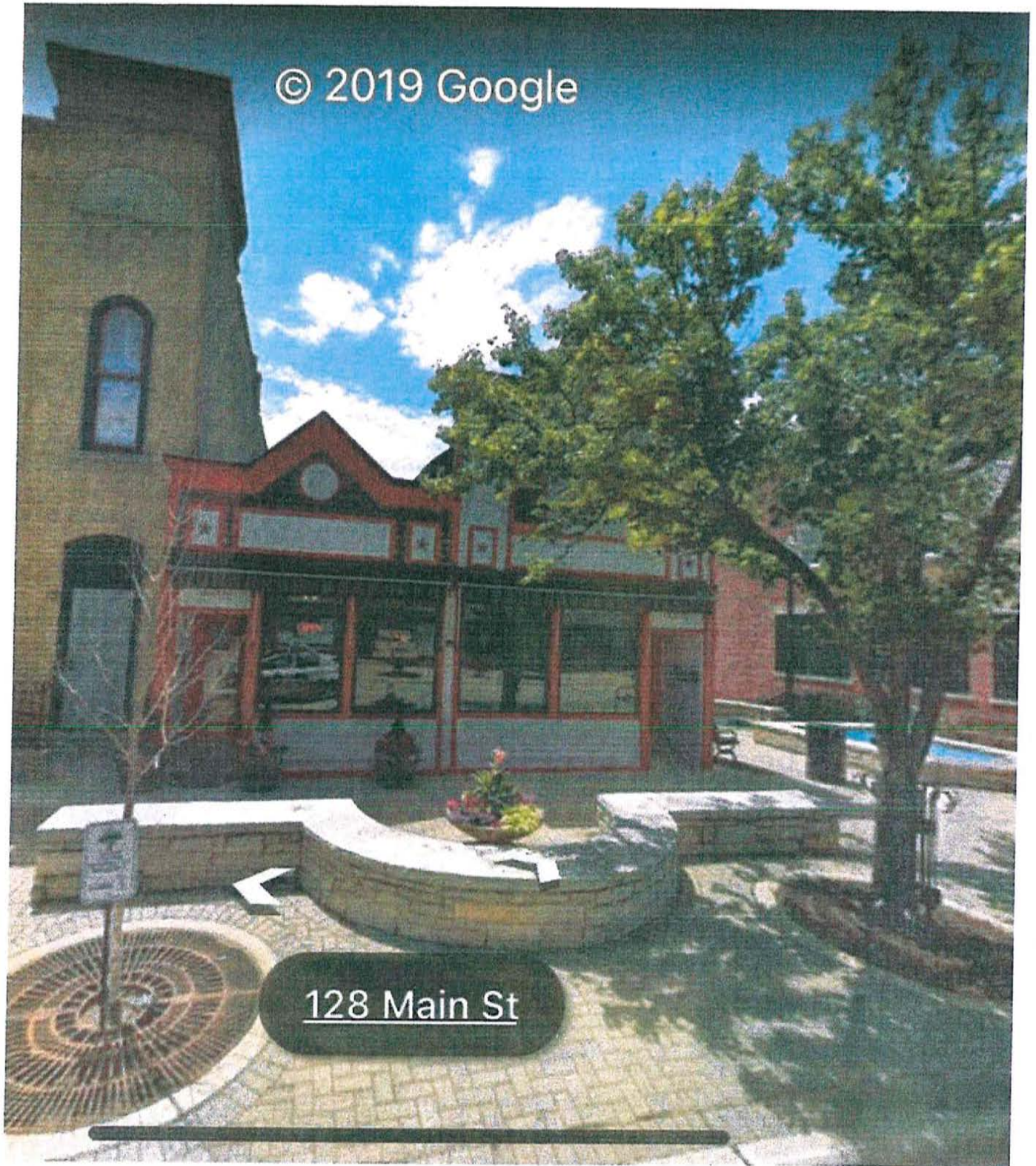
The project consists of replacing-new the existing "Shingle Roof" with the same type of roof.

We will:

- Tear-Off existing roof.
- Repair and/or replace wooden roof deck surface as necessary to procure a sound Roof Deck to work from.
- Install Underlayment, Ice-Water membrane and Flashing as needed and to Code.
- Install New Shingles. Exact color and Design are yet TBD but will be earth colors. I am attaching photos of the type and colors that we like to get, and, if not one of these, something very similar to them.



© 2019 Google



128 Main St

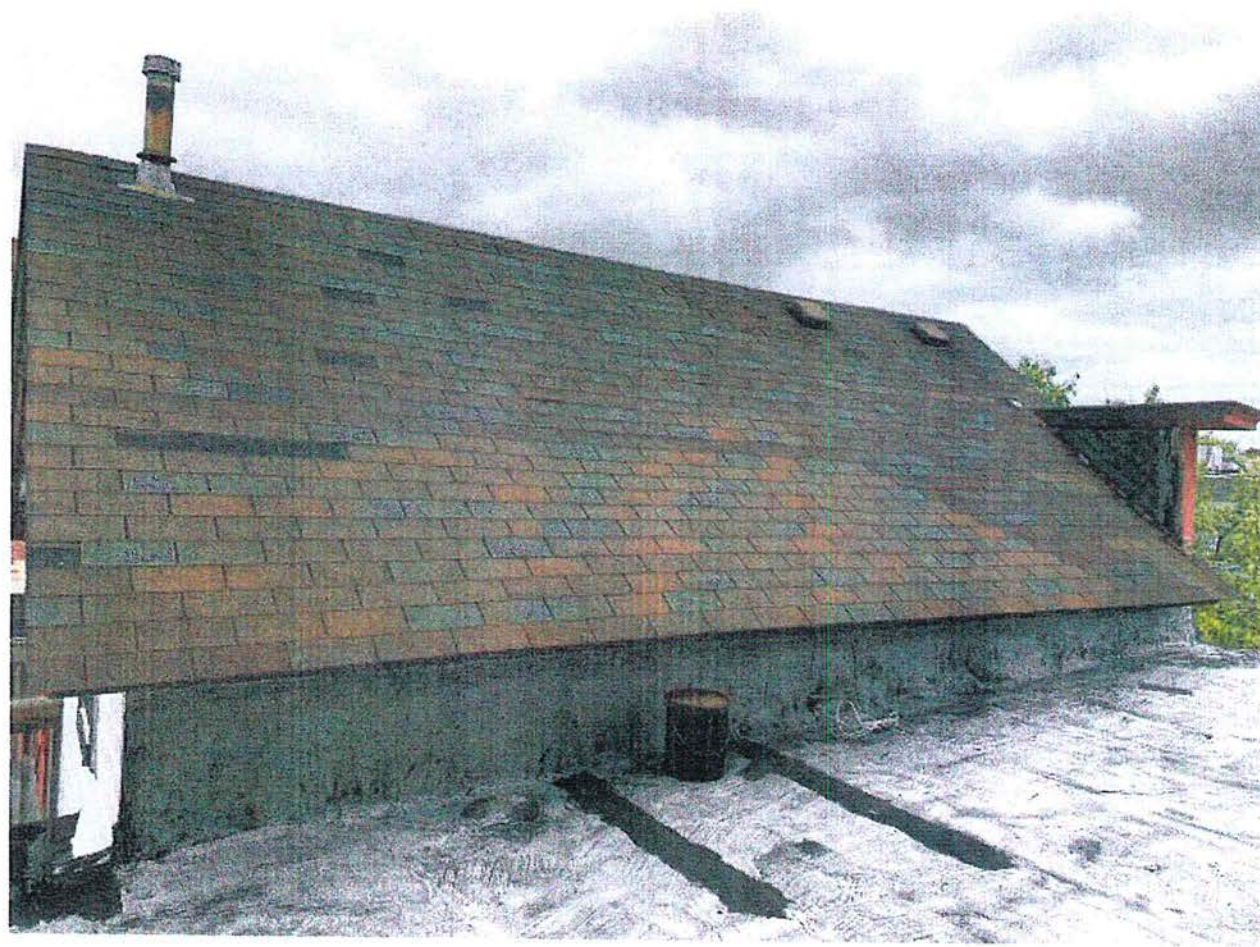












WHEATON ROOFING INC. est 1959

141 W GRANDLAKE AVE

WEST CHICAGO IL 60185

IL LIC#104-003814/PH 630-668-8532

Mr. Eddie Hernandez

RE: 128-130 Main St

West Chicago IL 60185

Dear Mr. Hernandez,

Here are some details about the roofs at this property.

Wheaton Roofing proposes to provide the following service and materials to:

1. Remove all existing roofing material.
2. Install plywood as needed. Plywood cost \$50.00 per 4x8 sheet removed and installed.
3. Install ice and water shield on all gutter edges and valleys.
4. Install synthetic felt on balance of roof deck.
5. Install GAF Timberline or similar Architectural shingles on roof. Please choose color. Samples will be provided at your request.
6. Replace all existing ridge vents w new ridge vents as needed and all passive vents to be replaced w new.
7. Install all plumbing flashings and bathroom vents. Each bathroom vent is \$120.00 additional cost.
8. Install all hip and ridge shingles.
9. Dumpster on site. Wood placed on driveway to prevent damage from container.
10. Grounds to be cleaned and magnetically swept.

The price of this roofing project is \$3600.00 plus the additional items above as specified. Our workmanship guarantee is 10 years from date of completion.

Company authorized signature \_\_\_\_\_

Customer authorized signature \_\_\_\_\_

Thank you,

Andy Hinton

Wheaton Roofing Sales Staff

# Casa Grande Realty, Inc.

**Work Estimate**

Proposal Date: 02-20-2020

**Project:**

Tear-Off Existing Roof and Replace-New

**Owner:**

Eduardo Hernandez

**Property Location:**

128 Main St West Chicago, IL. 60185

**Price for this Project:**

\$ 4,500.00

**Existing Roof:**

The existing roof system is a "Shingle Roof" system. This Roof is at the end of its useful life and has begun to fail.

The existing roof consists of:

- \* Wood Deck
- \* 1 Layer of 3-Tab shingles
- \* 1 Plumbing Vent
- \* 1 Chimney Vent
- \* 2 Roof Vents



# Casa Grande Realty, Inc.

## Scope of Work:

- Tear-Off existing roof down to the deck. Materials/Debris will be cleaned up and hauled away.
- Repair and/or replace wooden roof deck surface as necessary to procure a sound Roof Deck to work from.
- Install Ice and Water on edges and valleys.
- Install felt on rest of roof deck.
- Install new 3-Tab or Architectural shingles over the roof deck.
- Install all hip and ridge shingles.
- Seal all flashings and protrusions.
- All plumbing flashings to be replaced with new lifetime lead flashings.
- Any additional work that needs to be performed for the completion of the installation of the new roof and not specified in this proposal, will be billed to the Owner for Time and Material.

\*\*\* Additional labor not specified above will be billed to the owner at \$ 50.00 per man hour

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Casa Grande Realty, Inc.

## LINDHOLM ROOFING, INC.

205 E. Butterfield Road  
Elmhurst, Illinois 60126  
(630) 279-7700  
Fax (773) 281-1933  
info@lindholmroofing.com



All types of roofing  
All types of repairs  
Gutters & Downspouts  
Siding, Soffits, Eaves  
Windows  
Painting

Commercial  
Residential

Quality Work  
Fully Insured

Eduardo Hernandez

09/30/2019

*Lindholm Roofing, with 70 years of experience, proposes to do the following work at  
128-130 Main St., West Chicago, IL 60185:*

### RE: ROOFING WORK TO SHINGLED ROOF REPLACEMENT

1. We will tear off and haul away all old roofing material. We will protect your lawn and plantings. Upon completion of work, we will sweep clean all patio/driveway areas and rake debris from all landscaped areas. We often use a magnetic rake to help us remove loose nails from the lawn.
2. We will install ice and water shield membrane 72" wide to eaves of house. We will also install ice and water shield 18"-36" at chimneys, skylights and valleys.
3. We will install asphalt-saturated felt over entire exposed roof sheathing.
4. We will install new lead flashings to (1) plumbing stacks.
5. We will seal any worn or suspicious areas that we see to metal chimney with roof mastic and membrane.
6. Framed fascade walls: Replace rotten wood at back side and flash with aluminum.
7. We will install Swift Start starter course along gutter lines and outside edges if applicable.
8. We will install a Landmark Lifetime architectural shingle with roofing nails. This shingle carries a Lifetime limited material warranty offered by Certainteed. Samples can be provided to you for your review and consideration.
9. We will install high definition Shadow Ridge to hip and ridge caps.

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All types of roofing  
All types of repairs  
Gutters & Downspouts  
Siding/Soffit/Fascia  
Windows  
Tuckpointing

MAIN WAREHOUSE  
EAST N. MILWAUKEE  
CHICAGO, ILLINOIS

Commercial  
Residential

Quality Work  
Fully Insured

10. We will apply a self adhered SBS modified bitumen roof system. Starting at the low point, we will first install a compatible base sheet followed by the self adhered SBS modified bitumen membrane. This membrane shall have a mineral surface. Flashings shall be sealed properly with the same membrane. (Valley)

11. All work will be done by fully insured workmen.

### THIS WORK CARRIES A FIVE YEAR GUARANTEE

(Please inquire about details of guarantee)

TERMS: 10% DOWN PAYMENT, BALANCE DUE UPON COMPLETION OF WORK

\*We accept Check/Cash/Visa/Mastercard/Quickpay(lindholmroofing@gmail.com). There is a 3% convenience fee on credit transactions over \$500.00.\*

- ❖ We will replace wood sheathing as necessary for an additional cost of \$2.95 per linear foot if boards, and \$2.35 per square foot if plywood. The first 32 sq/ft or linear/ft will be free.
- ❖ I have inspected the project and would be happy to meet in person with you to discuss the project. Please call me if you would like to arrange a meeting.

**PRICE**

**\$5,029.00**

- ❖ FINANCING IS AVAILABLE FOR MOST JOBS

\*The cost of any necessary permits and/or fees is not included. We will make the application using our STATE LICENSE and our INSURANCE. You will pay the actual COSTS ONLY. Owner is responsible for removing and/or covering personal items in the attic area. We cannot be responsible for damage to items left in the attic, clean-up of the attic area due to debris falling through the spacing in deck boards, nail pops, or cracks caused by the roof removal and/or replacement process. Special care should be taken to protect any wall hangings and pictures or any item that could fall due to the vibrations. This contract does not include, unless expressly specified, any mold abatement, removal or cleaning. In addition, any warranty given to you under this contract does not include the cost to abate, remove or clean mold that may be found on the premises in the future. A service fee of 3% per month will be added to any balance over 15 days, with an annual rate of 18%. Any costs, including legal costs, incurred by Lindholm Roofing to collect payments will be paid by customer. Lindholm Roofing agrees to include purchaser as an additional insured for general liability as respects all work performed on their behalf.

LINDHOLM ROOFING, INC  
STATE LICENSE NO. 104—001033

\_\_\_\_\_  
PRINT NAME

\_\_\_\_\_  
DATE

VINCENT PARADISO  
lr.vincentp@gmail.com  
Cell: (773) 706-9666 (mobile)

\_\_\_\_\_  
PURCHASER SIGNATURE