

# AS BUILT GREENHOUSE DRAWINGS

## 143 CONDE STREET

### WEST CHICAGO, ILLINOIS 60185

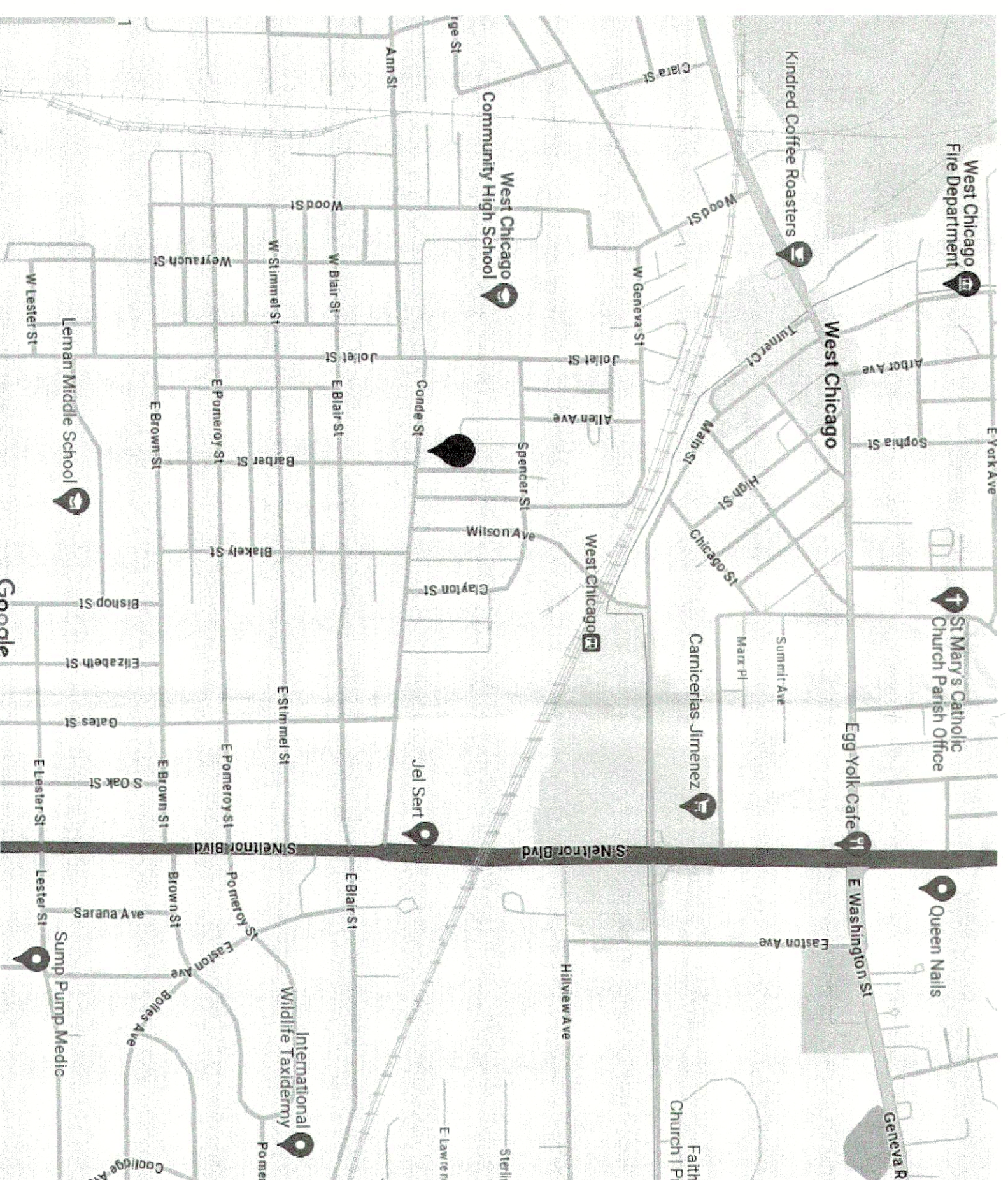
FILE

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3	C1-2	PROPOSED SITE PLAN
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#### REVISION

No.	DESCRIPTION	DATE
1	FOR CITY SUBMITTAL	12/13/2023
2	PER CITY REVIEW	12/20/2023
3		
4		



1 LOCATION MAP  
NOT TO SCALE

#### LIABILITY INSURANCE:

PROVIDE LIABILITY INSURANCE (HOLD HARMLESS AGREEMENT): THE CONTRACTOR SHALL MAINTAIN CONTRACTUAL LIABILITY INSURANCE TO COVER LIABILITY ASSUMED UNDER THE FOLLOWING AGREEMENT: THE CONTRACTOR AND ANY SUBCONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS OWNER AND ARCHITECT AND THEIR PARTNERS, AGENTS, AND EMPLOYEES AGAINST ANY LOSS, DAMAGE OR EXPENSE FOR WHICH THE OWNER AND ARCHITECT MAY BECOME LIABLE ON A THEORY OF BODILY INJURY INCLUDING DEATH, OR PROPERTY DAMAGE SUSTAINED BY ANYONE WHICH MAY ARISE OUT OF OR RESULT FROM THE OPERATIONS OF THE CONTRACTOR OR OF THOSE EMPLOYED BY HIS AGENTS OR SERVANTS INCLUDING HIS SUBCONTRACTORS, IN THE EXECUTION OF ANY WORK INCLUDED UNDER THIS CONTRACT, WHETHER OR NOT IT SHALL BE CLAIMED THAT THE INJURY OR DAMAGE WAS CAUSED THROUGH A NEGLIGENT ACT OR OMISSION OF THE OWNER AND ARCHITECT, THEIR AGENTS, SERVANTS OR EMPLOYEES, OR BY ANY OTHER PERSONS WHOSEVER; AND THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, APPEAR, DEFEND, PAY ALL COSTS AND EXPENSE, INCLUDING ATTORNEY'S FEES AND PAY ALL JUDGMENTS IN CONNECTION WITH LIABILITY ASSUMED HERE UNDER, THE FOLLOWING: INDemnIFICATION SHALL ALSO INCLUDE ALL LIABILITY OF THE OWNER, ARCHITECT AND OTHER MENTIONED PERSONS ARISING UNDER THE SO CALLED "STRUCTURAL WORK ACT" (CH.48 SEC. 60-69 ILLINOIS REVISED STAT.) EACH AND EVERY CONTRACTOR AND SUBCONTRACTOR WHEN ACCEPTING CONTRACTUAL OBLIGATIONS FOR THIS PROJECT SHALL UNDERSTAND THAT A PRE-REQUISITE TO ANY OPERATION AT PROJECT WHETHER FILED WITH OWNER OR NOT, THAT THEY HAVE IMPLIED AGREEMENT TO THE ABOVE ITEM, (HOLD HARMLESS AGREEMENT AND ITS SPECIFIC WORKINGS).

#### LIMIT OF WARRANTY OF ARCHITECT'S WORK PRODUCT

THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK BEYOND A REASONABLE DEDUCTIBLE. IF ANY ERRORS, OMISSIONS OR OMISSIONS ARE FOUND TO EXIST IN THE WORK PRODUCT, THE ARCHITECT SHALL PROMPTLY NOTIFY SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY OF SUCH FAILURE. ACTION TAKEN WITHOUT KNOWLEDGE AND CONSENT OF THE ARCHITECT OR IN CONTRADICTION TO THE WORK PRODUCT OR THE RECOMMENDATIONS OF THE ARCHITECT SHALL BECOME THE RESPONSIBILITY OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

#### NOTE:

THE INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME TO THE ARCHITECT. THIS INFORMATION CANNOT BE GUARANTEED TO SHOW EVERY EXISTING CONDITIONS. THE CONTRACTORS SHALL READ AND STUDY THE TOTAL SET OF PLANS FOR ALL WORK. CONTRACTOR MUST VISIT THE SITE AND DETERMINE ALL FIELD CONDITIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED AND ALL DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO BID SUBMISSIONS.

#### STATEMENT OF COMPLIANCE

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE BEST OF MY CONTRACTUAL OBLIGATION, THEY COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, INCLUDING THE BUILDING CODES AND THE ILLINOIS ACCESSIBILITY CODE (71 ILCS 120.0/120.1) AND THE ILLINOIS ACCESSIBILITY CODE (71 ILCS 120.0/120.1).

4/11/2024

SIGNED:

ILLINOIS REGISTRATION NO. 001-015361

DATE: 12-28-2023

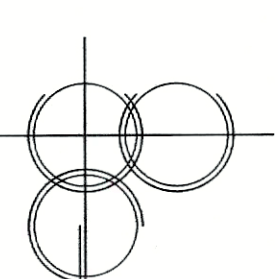
DESIGN FIRM LICENSE  
NO. 184007748-0001

#### ZONING INFORMATION

ZONING DISTRICT = RS SINGLE FAMILY RESIDENCE DISTRICT  
LOT AREA = 21008.89 S.F.  
ACCESSORY STRUCTURE AREA = 533.42 S.F.

#### CODES RESIDENTIAL APPLICABLE CODES

2015 INTERNATIONAL RESIDENTIAL CODE WITH APPENDICES A-K INCLUSIVE  
2015 INTERNATIONAL BUILDING CODE WITH APPENDICES F - J INCLUSIVE  
2015 INTERNATIONAL PROPERTY MAINTENANCE CODE  
2015 INTERNATIONAL FIRE CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE (STATE STATUTE)  
2014 NATIONAL ELECTRICAL CODE  
2014 ILLINOIS STATE PLUMBING CODE (STATE STATUTE)  
2015 INTERNATIONAL EXISTING BUILDING CODE

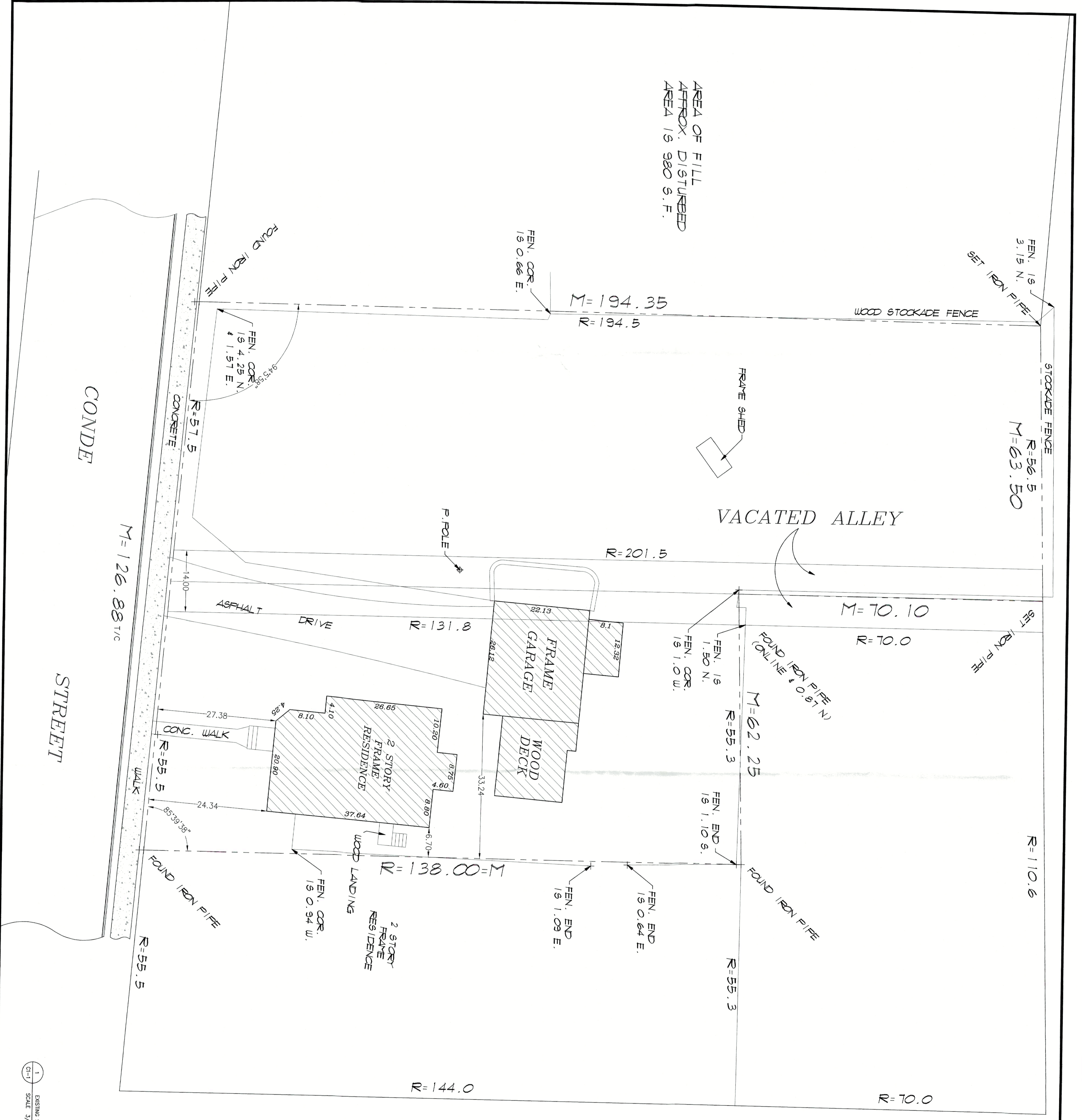


HAROLD BERON  
ARCHITECTS, PLANNERS & DESIGNERS

150 WEST WASHINGTON ST.  
WEST CHICAGO IL 60185  
Tel. (630) 473-0581  
Fax. (630) 708-0581  
harold@berondesigngroup.com

REGISTERED  
JAN - 3 2024





BARBER AVENUE

# AS-BUILT GREENHOUSE DRAWINGS

## 143 CONDE STREET

### WEST CHICAGO, ILLINOIS 60185

**HAROLD BERON**  
 ARCHITECT, PLANNER & DESIGNER  
 150 WEST WASHINGTON ST.  
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 Fax. (830) 708-0581  
 HAROLDBERONDESIGNGROUP.COM

DATE: 12/1/2023

PROJECT NO.: 7080

SHEET NO.: C1-1

EXISTING SITE PLAN

NO.	REVISIONS	DATE
1	FOR CITY SUBMITTAL	12/13/2023
0	PER OWNER REVIEW	12/6/23

DSGN. HB  
 DWN. HB  
 CHKD. HB

SCALE: AS SHOWN

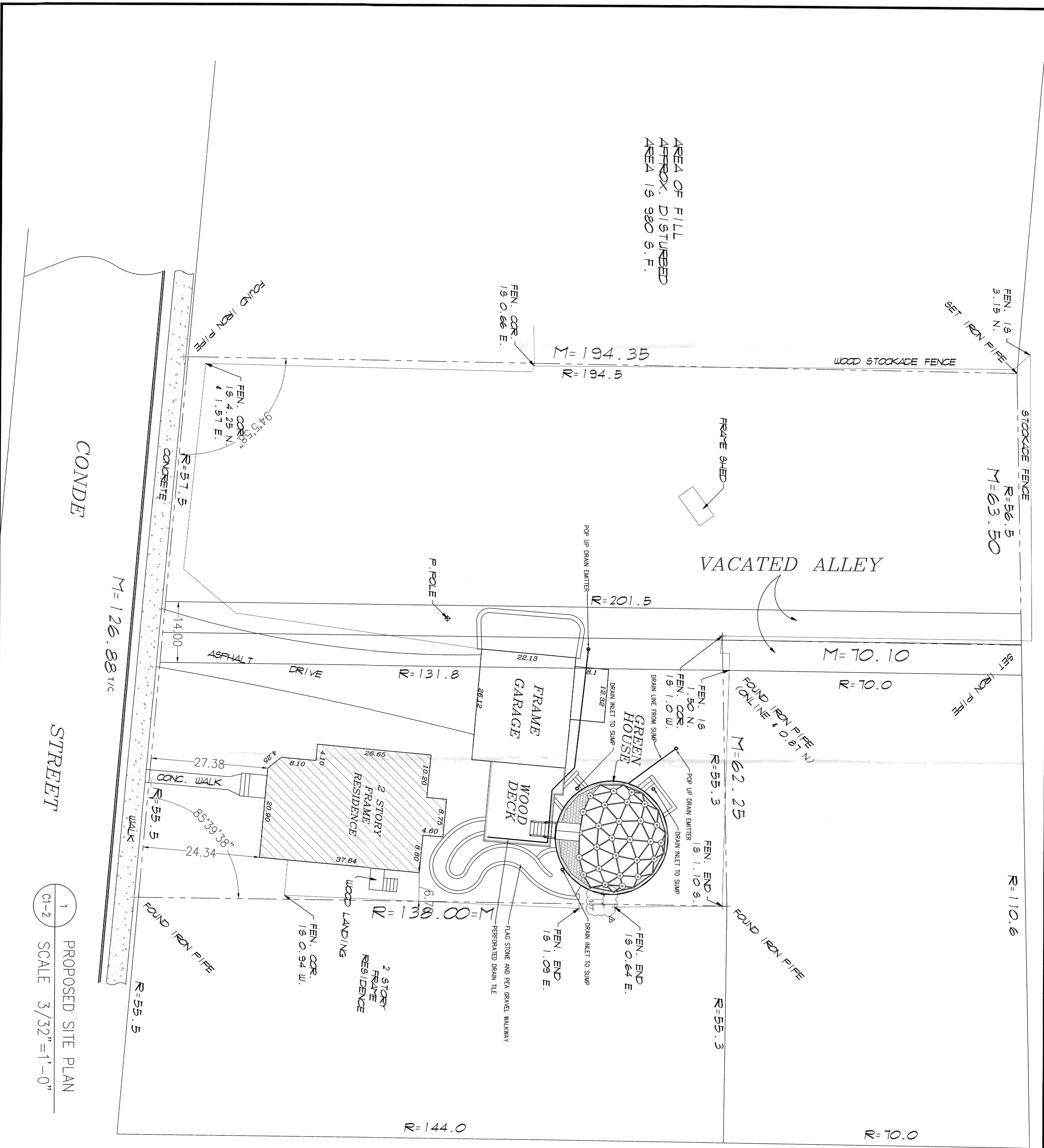
SHEET TITLE:

1 EXISTING SITE PLAN  
 C1-1  
 SCALE 3/32"=1'-0"

DESIGNER: HAROLD BERON  
 LICENSE NO. 184-007748-0001  
 DATE: 12/1/2023

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND THAT I AM A LICENSED ARCHITECT KNOWLEDGE CORRECTLY WITH THE VILLAGE OF WEST CHICAGO BUILDING CODE AND ORDINANCES.





CONDÉ STREET

1  
C1-2

PROPOSED SITE PLAN  
SCALE 3/32" = 1'-0"

BARBER AVENUE

DATE: 12/11/2024  
 DESIGNER: HAROLD BERON  
 LICENSE NO. 184-00748-0001

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE VILLAGE OF WEST CHICAGO BUILDING CODE AND ORDINANCES.

NO.	REVISIONS	DATE
2	PER CITY REVIEW	12/20/2023
1	FOR CITY SUBMITTAL	12/13/2023
0	PER OWNER REVIEW	12/6/23

DSGN: HB  
 DWN: HB  
 SCALE: AS SHOWN

SHEET TITLE: PROPOSED SITE PLAN

PROJECT NO. 7080  
 SHEET NO. C1-2

DATE: 12/11/2023

# AS-BUILT GREENHOUSE DRAWINGS

## 143 CONDE STREET

### WEST CHICAGO, ILLINOIS 60185

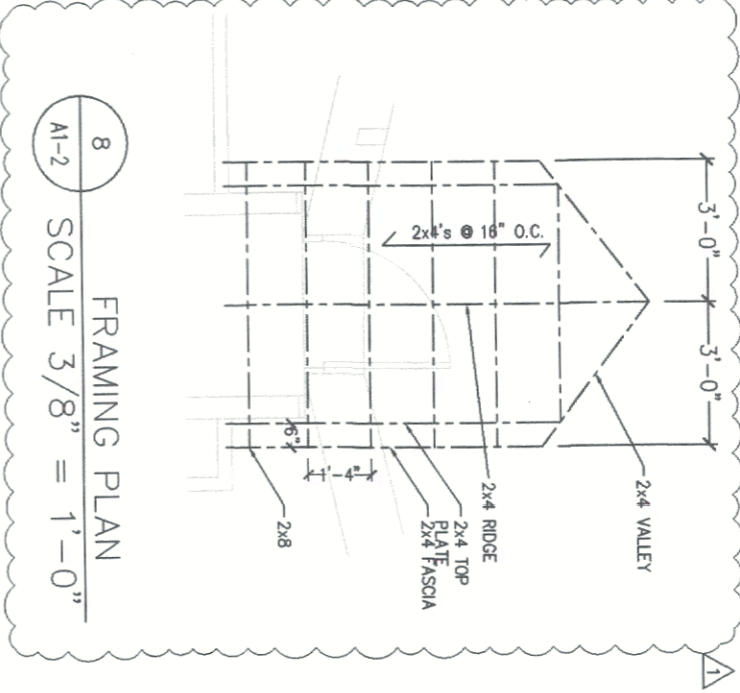
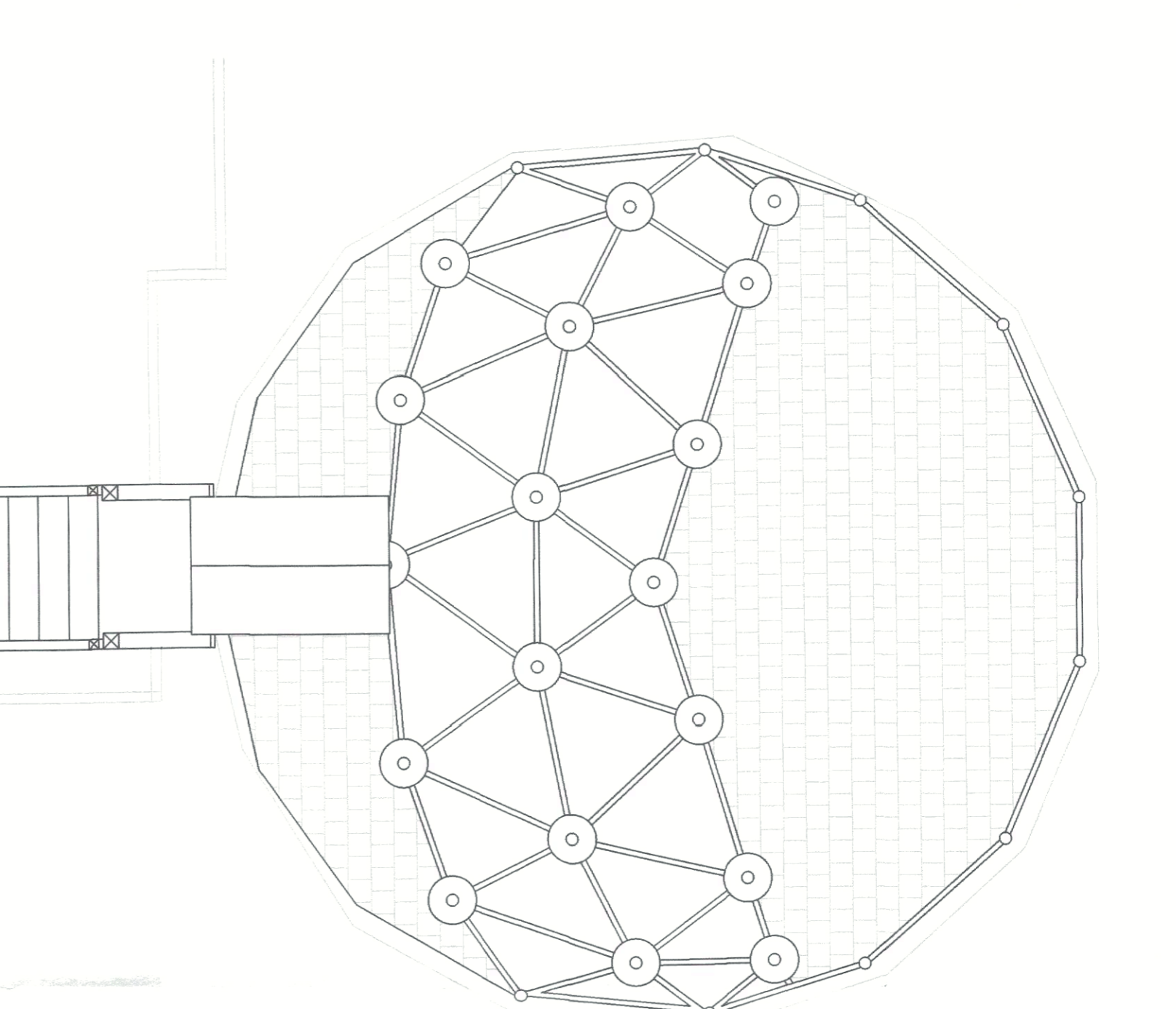
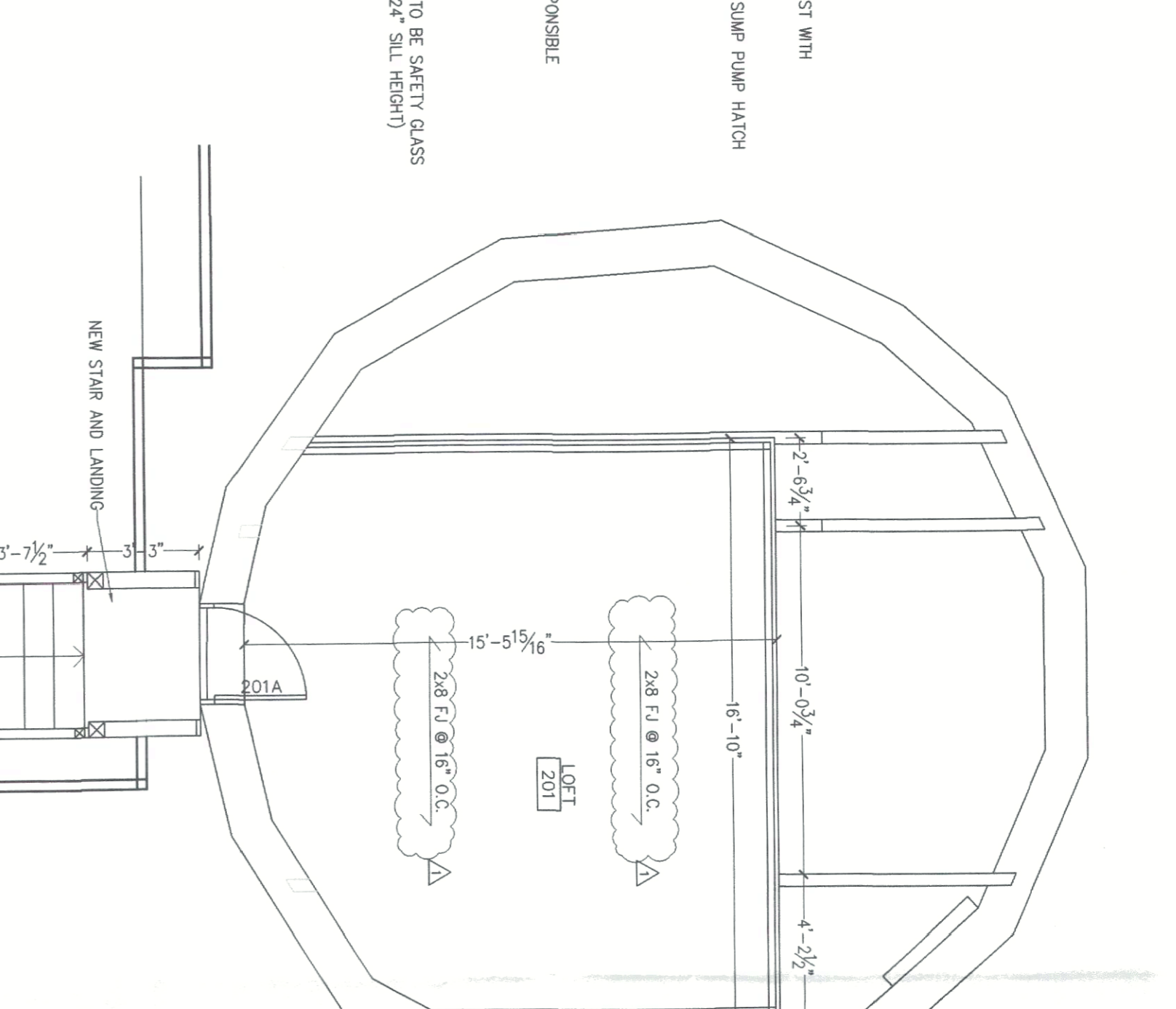
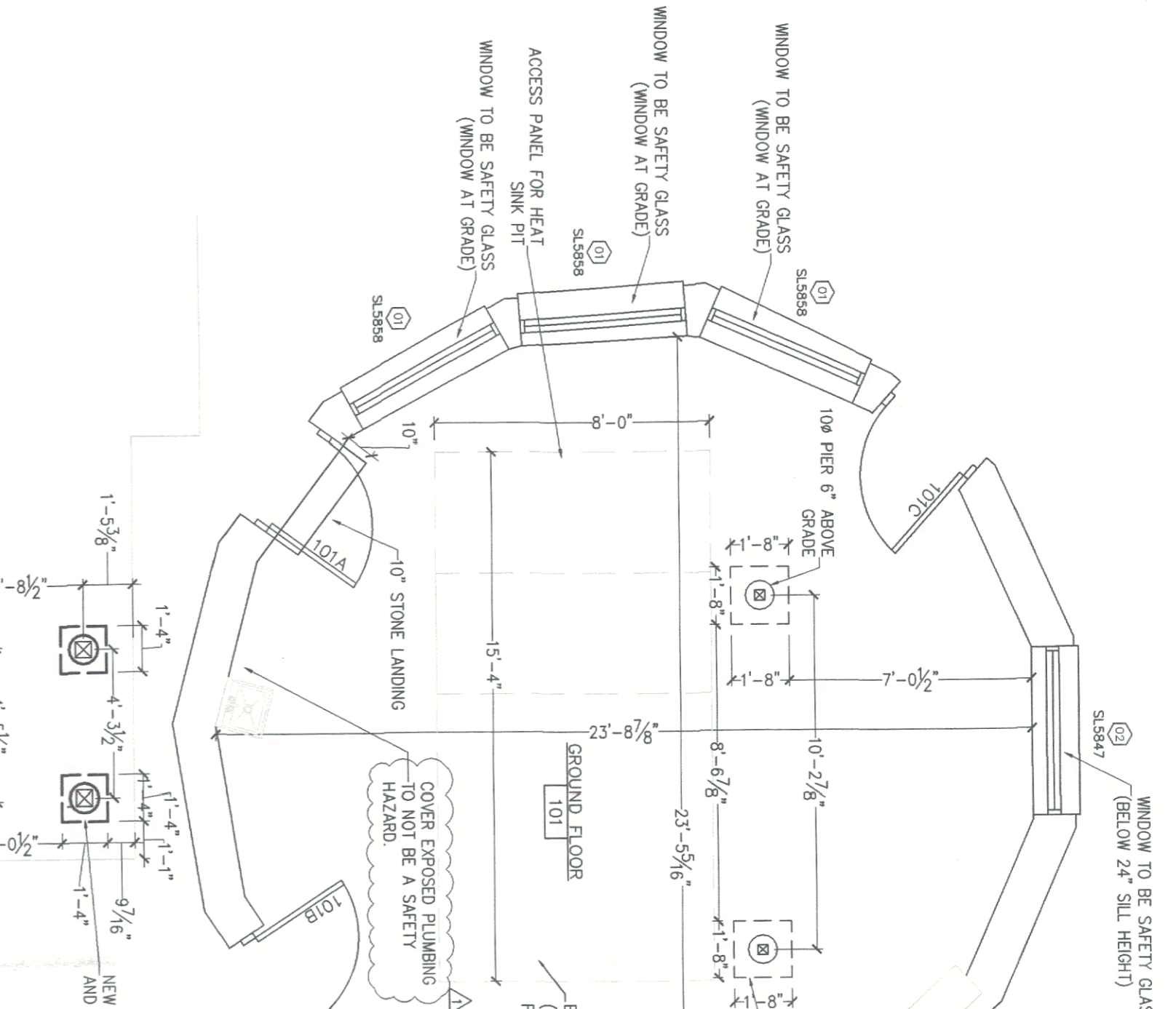
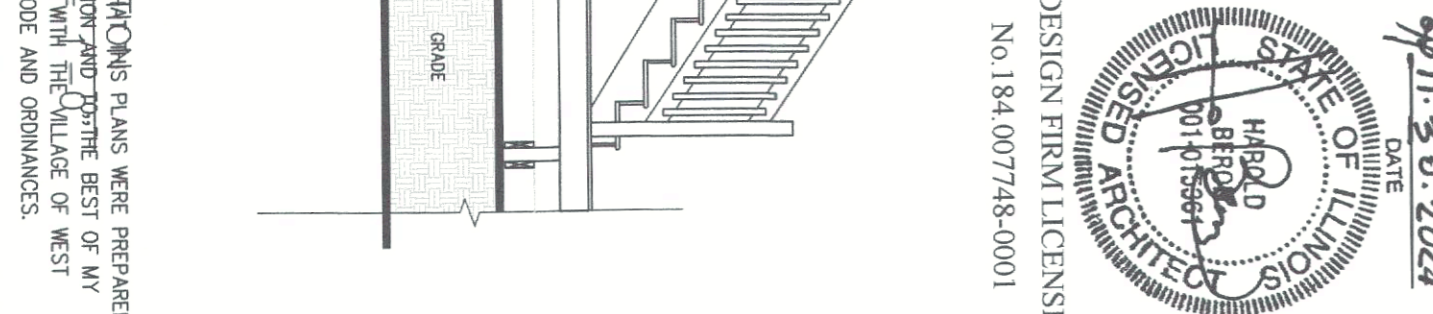
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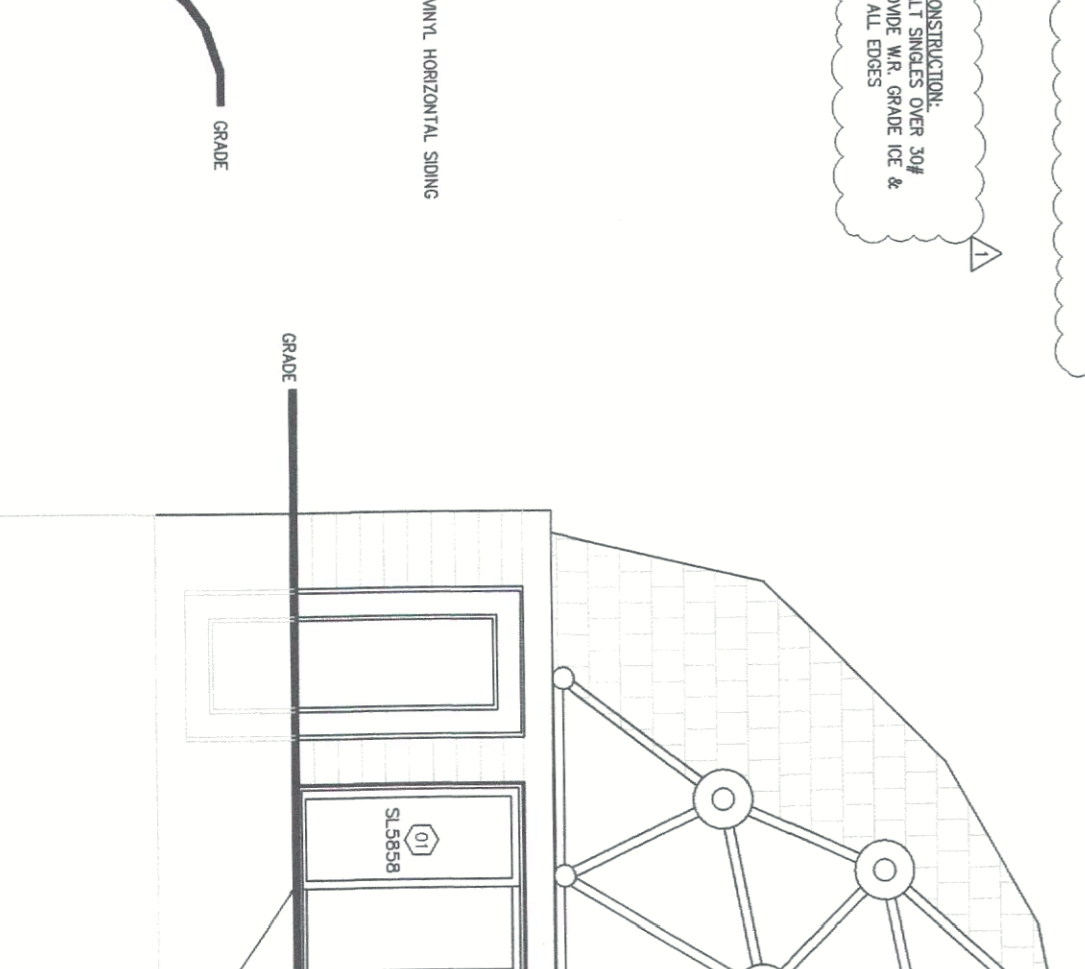
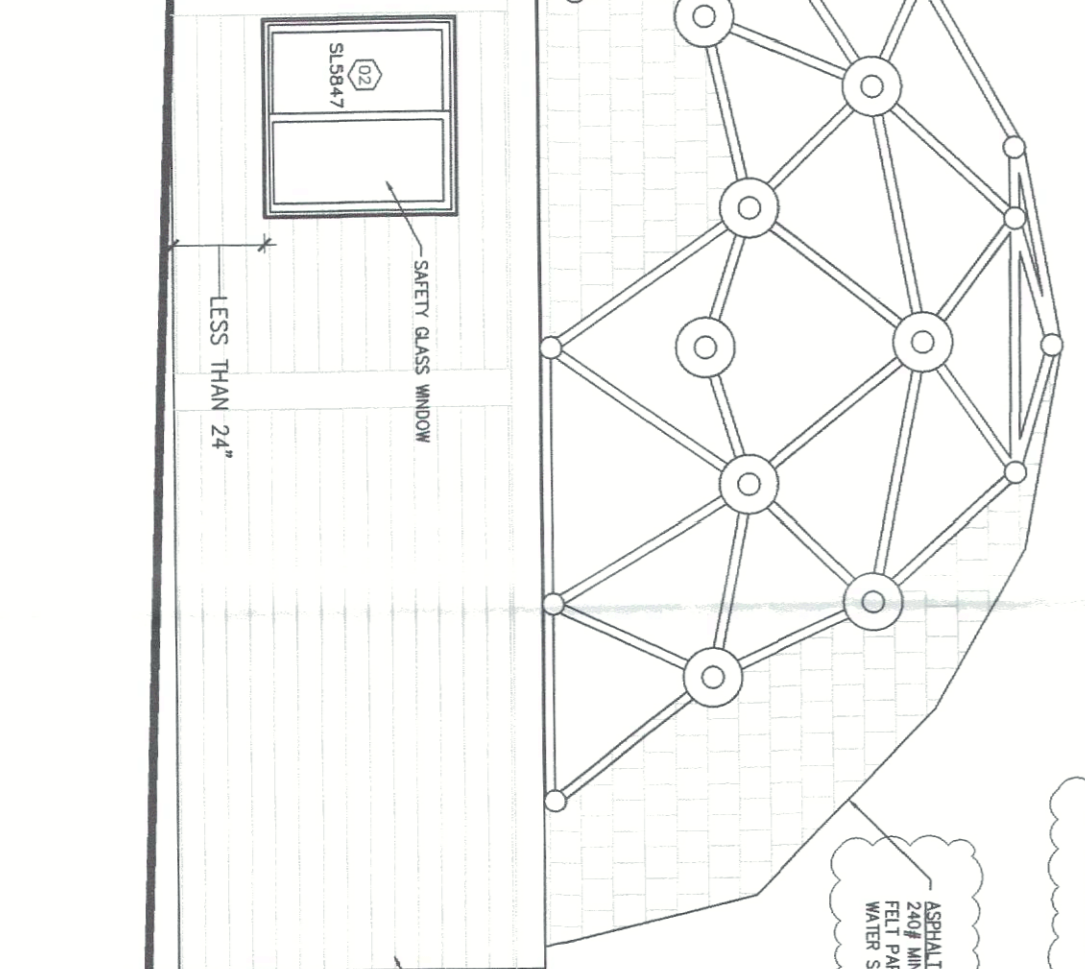
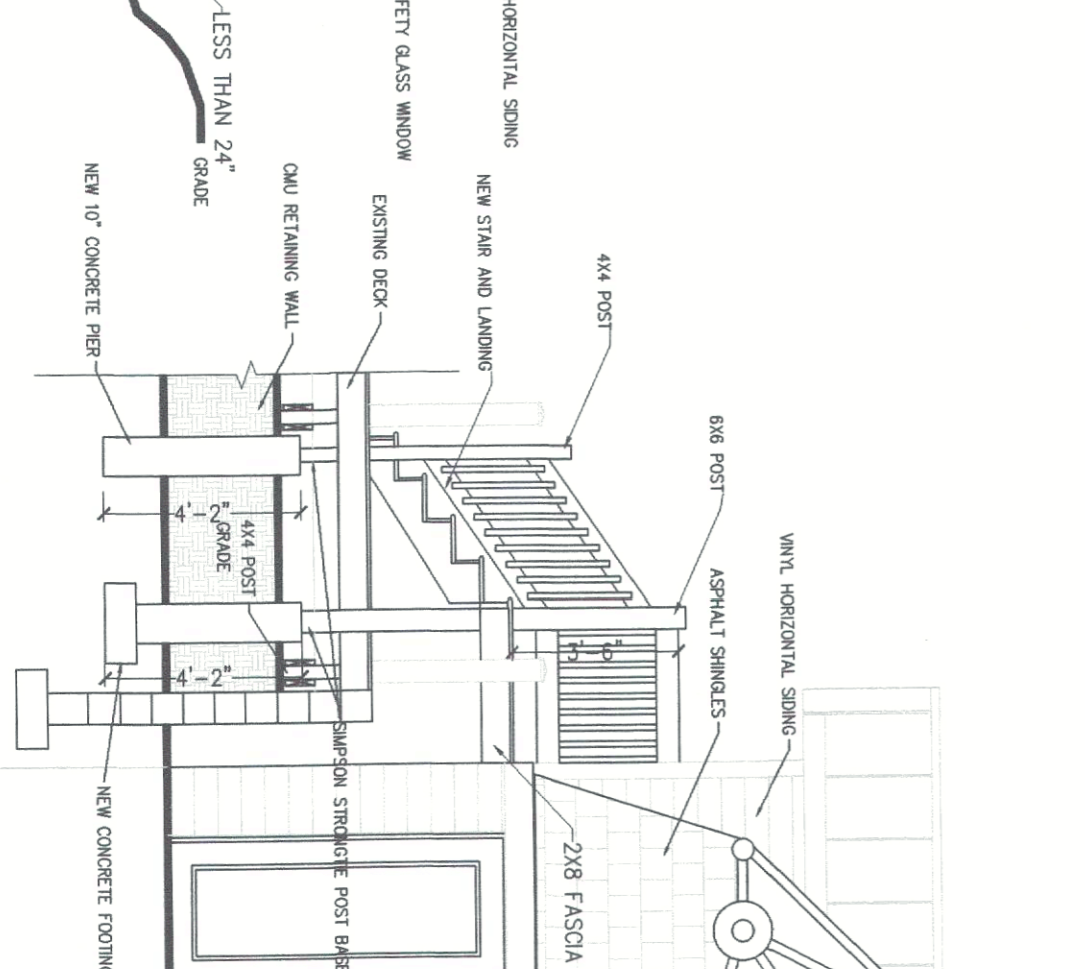
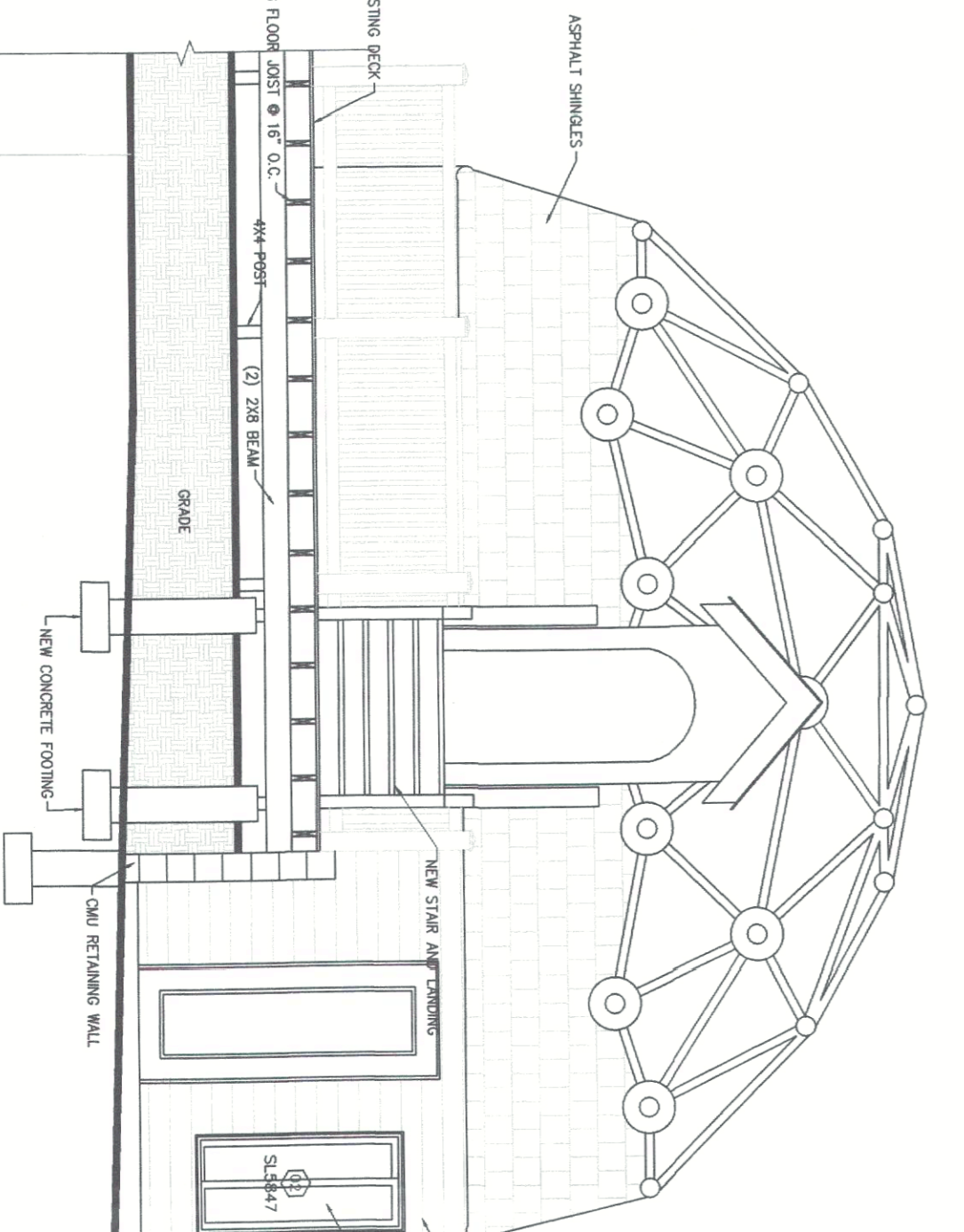
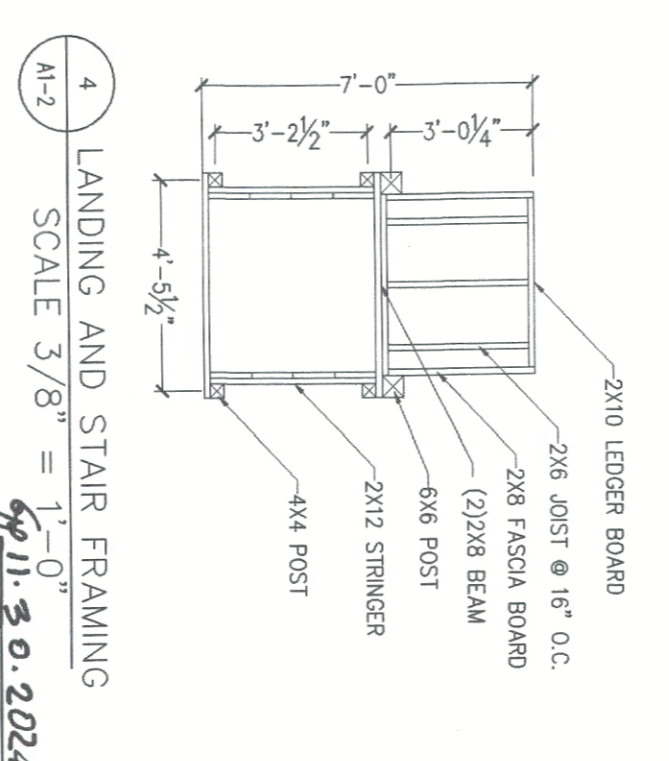
# AS-BUILT GREENHOUSE DRAWINGS 143 CONDE STREET WEST CHICAGO, ILLINOIS 60185

PROJECT NO. 7080	SHEET NO. A1-2
DATE 12/1/2023	
SHEET TITLE: <b>PROPOSED FLOOR PLANS</b>	
SCALE: AS SHOWN	
DSCN: HB	
DWN: HB	
CHKD: HB	
DATE: 12/20/2023	
12/13/2023	
12/9/23	
NO. REVISIONS	
FOR CITY SUBMITTAL	
FOR OWNER REVIEW	
PRR CITY REVIEW	
DATE	



DOOR			FRAME			LOCATION	THRESHOLD	HINGE	REMARKS
MARK	SIZE (W X H)	MATERIAL	FINISH	MATERIAL	FINISH	GROUND FLOOR	YES	RH	EXISTING DOOR
103A	3'-0" X 6'-8"	FIBERGLASS INSUL.	PAINTED	WOOD	PAINTED	GROUND FLOOR	YES	LH	EXISTING DOOR
101B	3'-0" X 6'-8"	FIBERGLASS INSUL.	PAINTED	WOOD	PAINTED	GROUND FLOOR	YES	LH	EXISTING DOOR
101C	3'-0" X 6'-8"	FIBERGLASS INSUL.	PAINTED	WOOD	PAINTED	GROUND FLOOR	YES	LH	EXISTING DOOR
201A	2'-8" X 6'-8"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED	LOFT	YES	RH	EXISTING DOOR

WINDOW SCHEDULE			QTY.	FRAME SIZE (W X H)	R.O. (W X H)	MATERIAL	WINDOW TYPE	MODEL	GLASS	SCREEN	REMARKS
MARK	SIZE (W X H)	MATERIAL	QTY.	FRAME SIZE (W X H)	R.O. (W X H)	MATERIAL	WINDOW TYPE	MODEL	GLASS	SCREEN	REMARKS
01	4'-10" X 4'-10"	VINYL	3	4'-10" X 4'-10"	4'-10 1/2" X 4'-10 1/2"	VINYL	SLIDING	SLS558	-	YES	EXISTING SLIDING WINDOW
02	4'-10" X 3'-10"	VINYL	2	4'-10" X 3'-10"	4'-0 1/2" X 3'-10 1/2"	VINYL	SLIDING	SLS447	-	YES	EXISTING SLIDING WINDOW

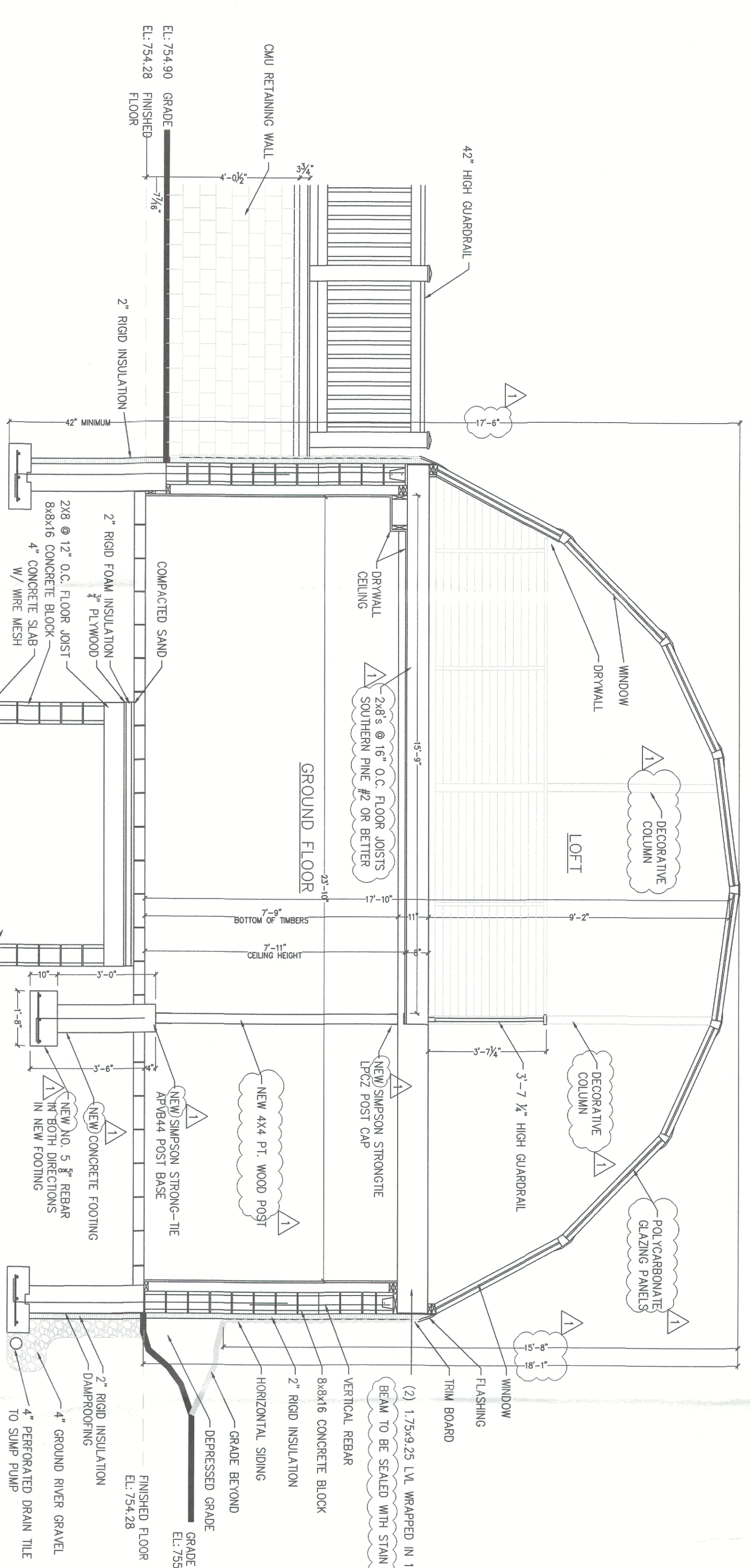


NOTE: PROVIDE AN 18" WIDE WALKWAY AT THE CORNER OF EACH PIER. THE 10" PIER OF WALKWAY MUST BE POSITIONED TO BE A MINIMUM 18" FROM THE EDGE OF THE PIER. THE 10" WALKWAY MUST BE CONSTRUCTED TO BE A MINIMUM 18" FROM THE EDGE OF THE PIER. THE 10" WALKWAY MUST BE CONSTRUCTED TO BE A MINIMUM 18" FROM THE EDGE OF THE PIER. THE 10" WALKWAY MUST BE CONSTRUCTED TO BE A MINIMUM 18" FROM THE EDGE OF THE PIER.

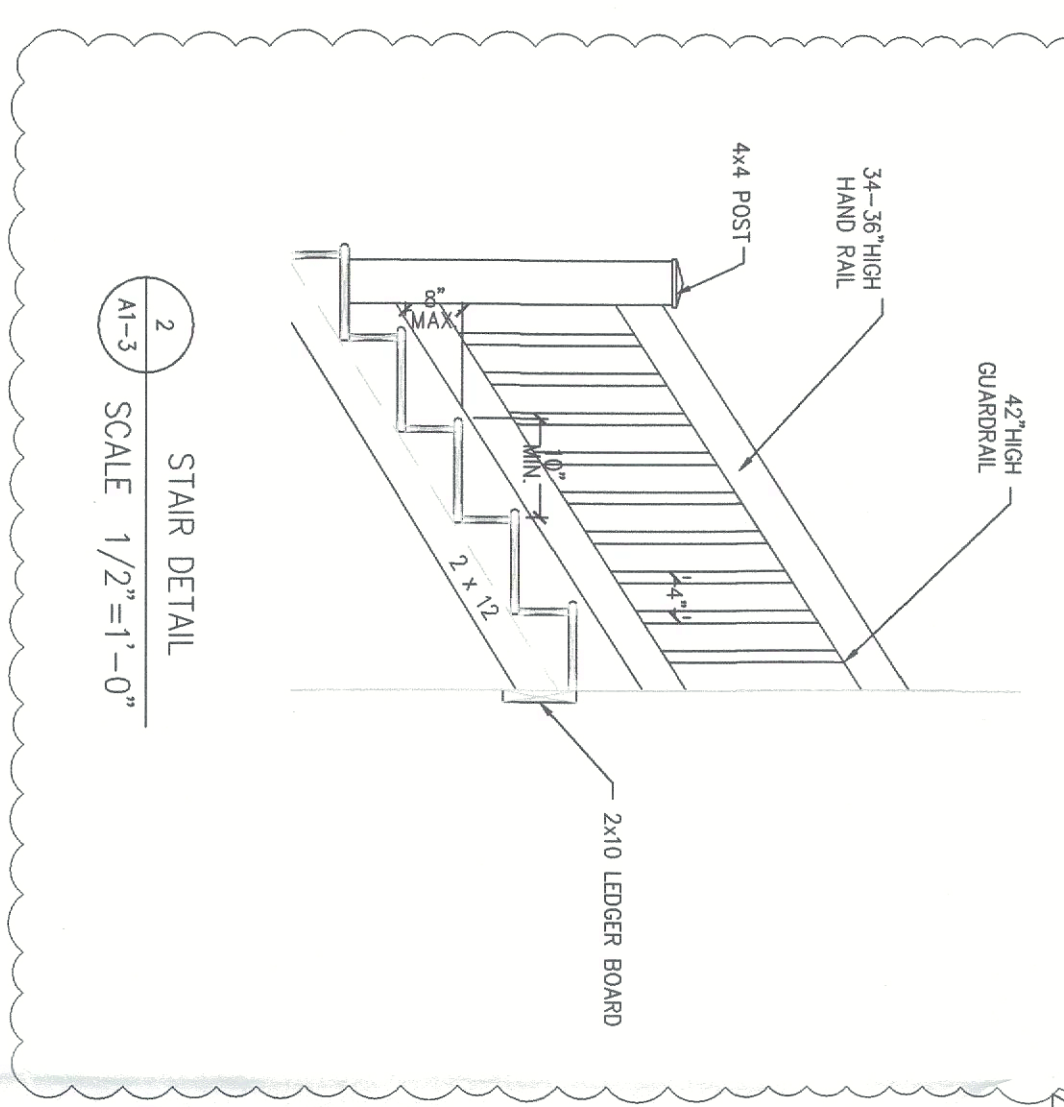
AS-BUILT CONSTRUCTION: 2x12 VINYL ASPHALT SHINGLES OVER 5/8" ASPHALT SHINGLES OVER 3/4" INSULATION OVER 5/8" WATER SHIELD OVER ALL DECKS AND ROOFS AT THE CASES AND FACE DECKS OF SHEDD ROOFS

WHERE REVISIONS WERE MADE, THE BEST OF MY SKILL AND KNOWLEDGE WILL BE USED TO CORRECT THE CHANGES AND DIMENSIONS.

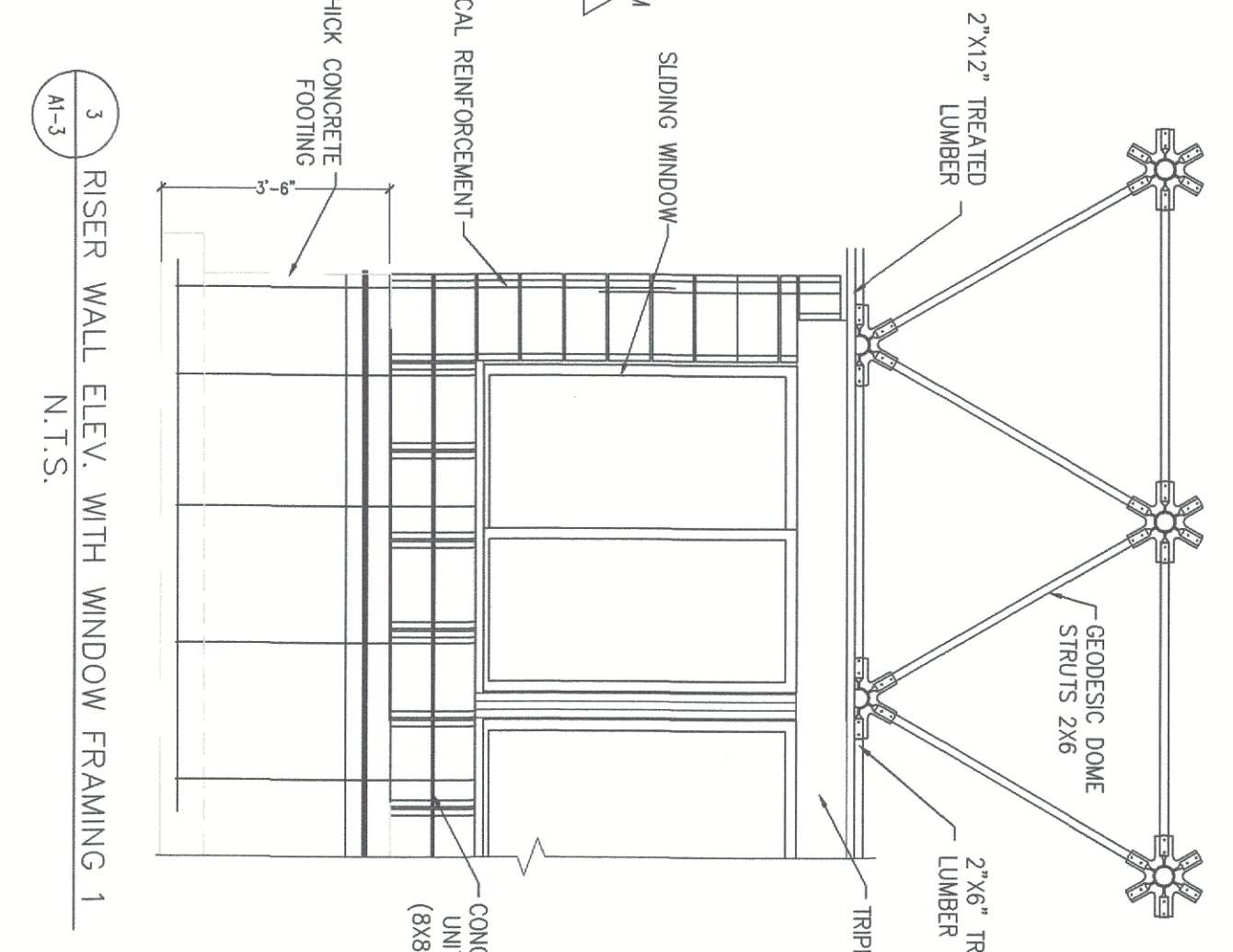




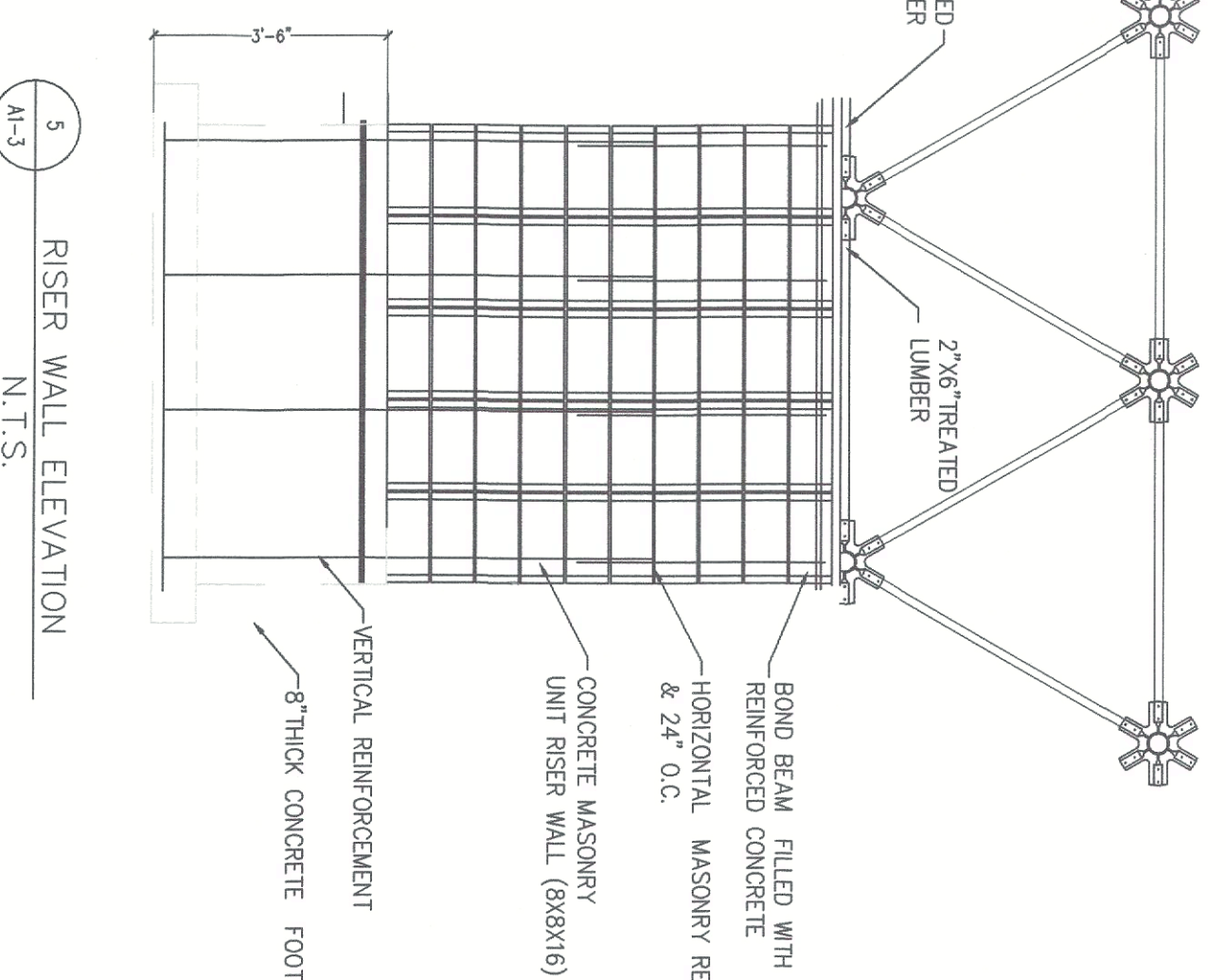
NOTE:  
1. ALL EXPOSED WOOD TO HAVE STAIN SEALER  
2. ALL PAINT TO BE WATERPROOF HIGH-GLOSS



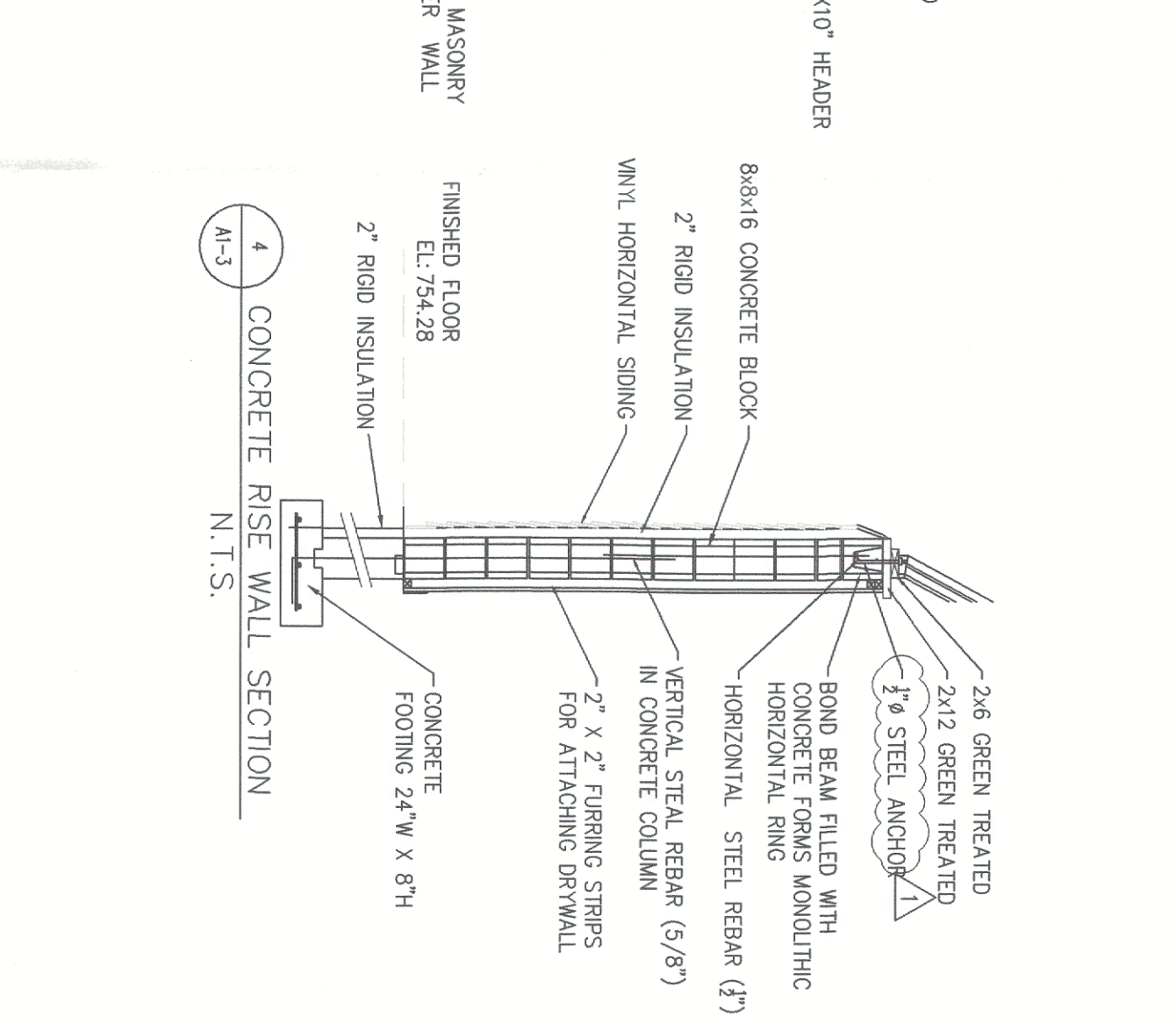
1 BUILDING SECTION A  
SCALE 3/8" = 1'-0"



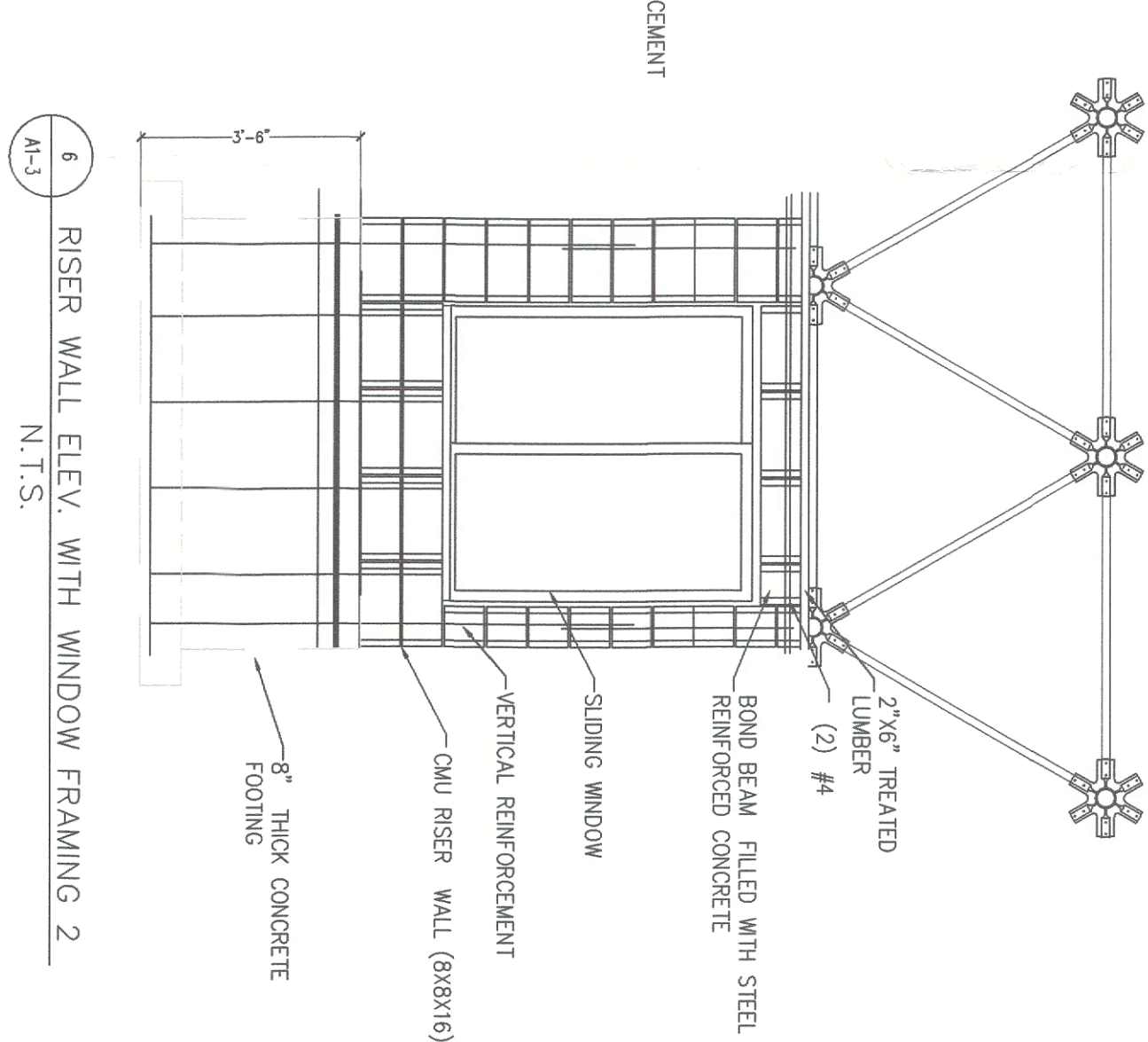
3 RISER WALL ELEV. WITH WINDOW FRAMING 1  
N.T.S.



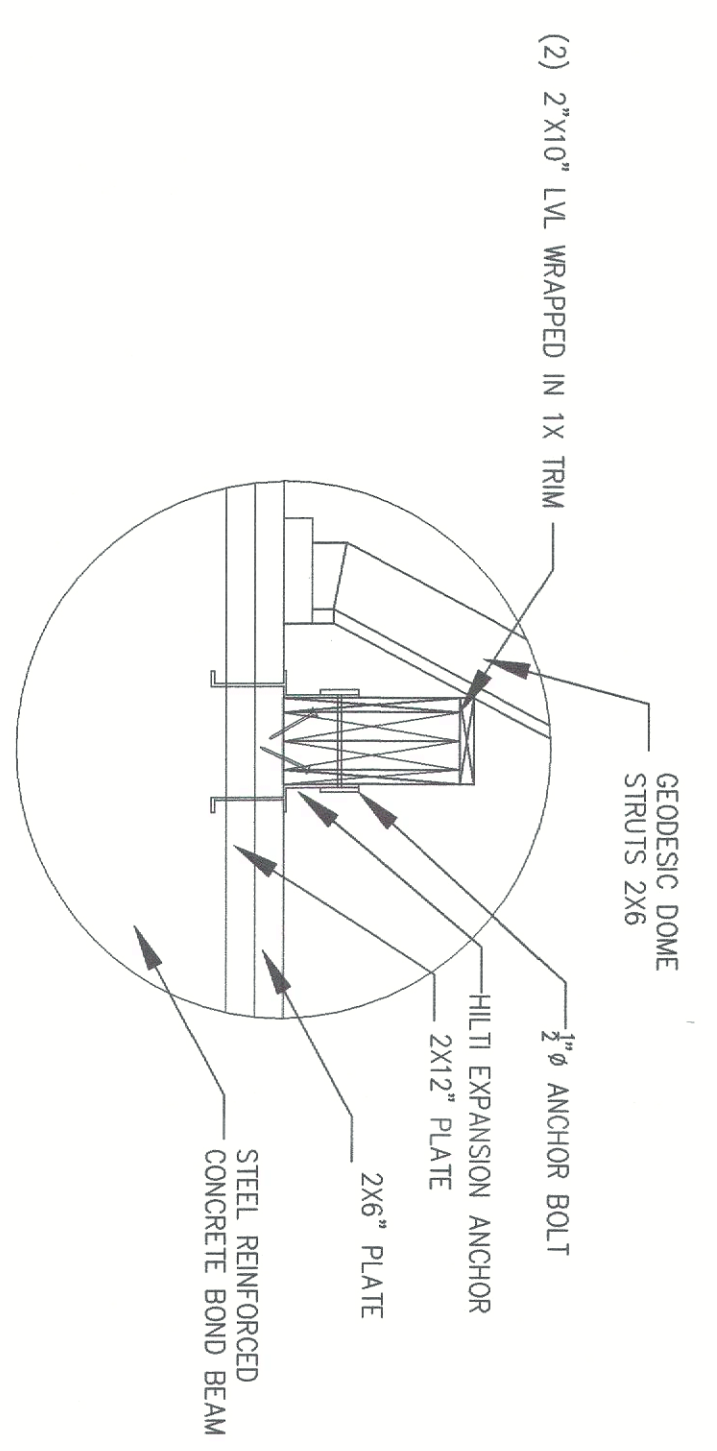
5 RISER WALL ELEVATION  
N.T.S.



4 CONCRETE RISER WALL SECTION  
N.T.S.

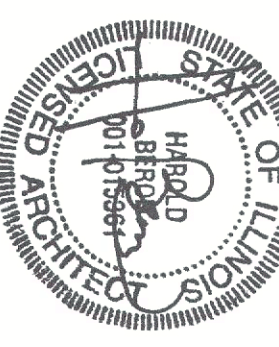


6 RISER WALL ELEV. WITH WINDOW FRAMING 2  
N.T.S.



7 LM AND COLUMN SUPPORT DETAIL  
N.T.S.

DATE: 12/11/2024  
BY: HB



DESIGN FIRM LICENSE  
No. 184.007748-0001  
I HEREBY CERTIFY THAT THE PLANS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE WELFARE OF THE CHICAGO BUILDING CODE AND ORDINANCES.

# AS-BUILT GREENHOUSE DRAWINGS

## 143 CONDE STREET

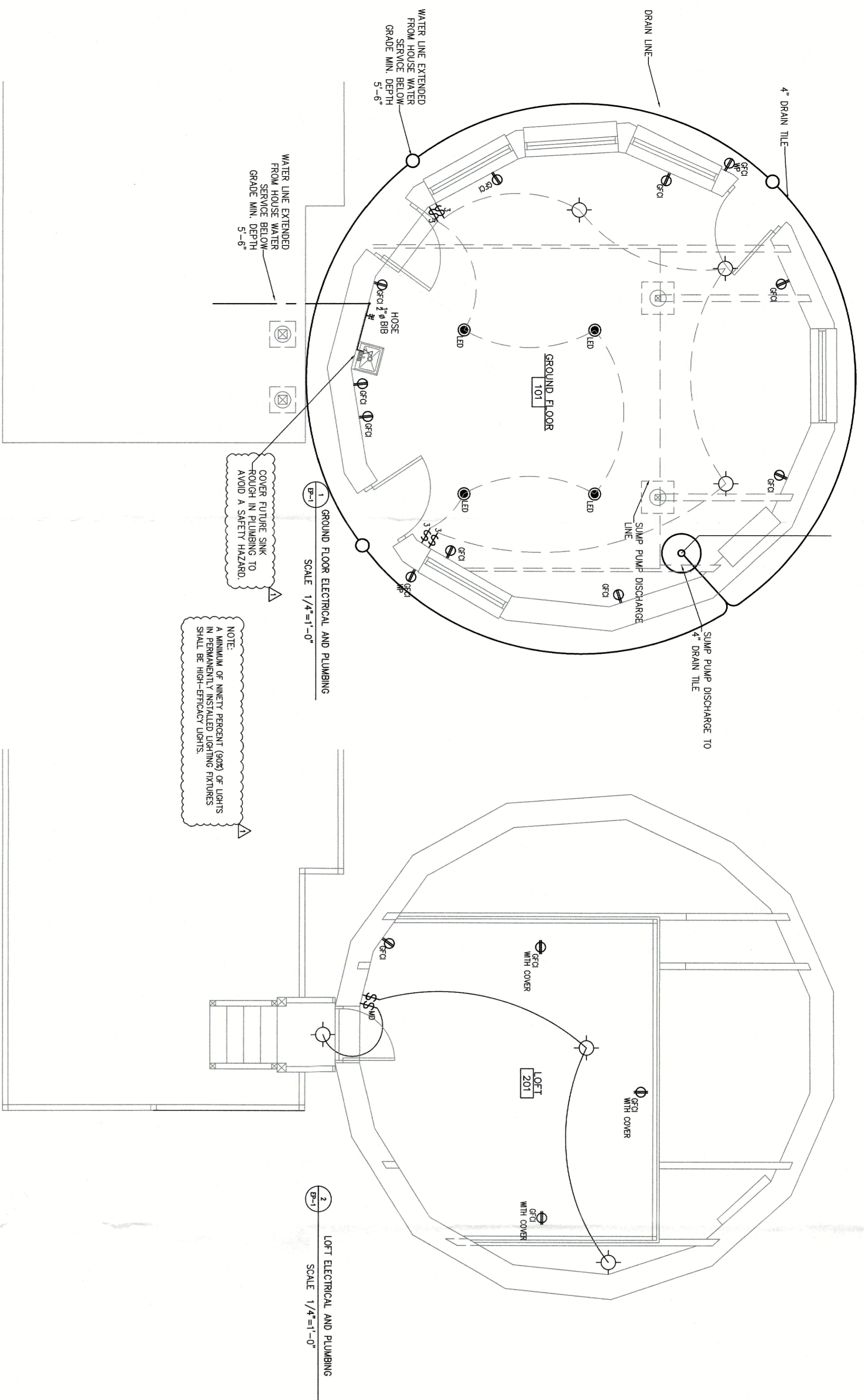
### WEST CHICAGO, ILLINOIS 60185

NO.	REVISIONS	DATE
2	PER CITY REVIEW	12/20/2023
1	FOR CITY SUBMITTAL	12/13/2023
0	PER OWNER REVIEW	12/6/23

DATE: 12/11/2023

PROJECT NO.	SHEET NO.
7080	A1-3





COVER PIPING SINK TO AVOID A SAFETY HAZARD.

NOTE: A MINIMUM OF NINETY PERCENT (90%) OF LIGHTS SHALL BE HIGH-EFFICIENCY LIGHTS.

LEFT ELECTRICAL AND PLUMBING  
SCALE 1/4"=1'-0"

ELECTRICAL SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	NEW CEILING OR WALL MOUNTED LIGHT FIXTURE
	NEW RECESSED CAN LIGHT FIXTURE
	NEW DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER
	NEW DUPLEX OUTLET WITH ARC FAULT PROTECTION
	NEW APPLIANCE OUTLET MOUNTED AT 18" AFF ON DEDICATED CIRCUIT
	NEW SINGLE POLE WALL MOUNTED SWITCH
	NEW 190 CFM EXHAUST WITH LIGHT FIXTURE VENTED TO OUTSIDE MAX. DUCTLENGTH NOT TO EXCEED 25 FT.

**ELECTRICAL NOTES:**

- ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE ELECTRICAL CODES AND STANDARDS. CONDUITS TO BE SELECTED BY OWNER.
- ALL CONDUIT TO BE CONCEALED IN WALL, CEILING OR FLOOR CONSTRUCTION UNLESS OTHERWISE NOTED.
- SURFACE-MOUNTED FLUORESCENT LUMINAIRES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING. PROVIDED THERE IS A MINIMUM CLEARANCE OF 6 INCHES BETWEEN THE LUMINAIRE AND THE CEILING. RECESSED INCANDESCENT LUMINAIRE SHALL BE INSTALLED IN THE WALL OR THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6 INCHES BETWEEN THE LUMINAIRE AND THE NEAREST POINT OF A STORAGE SPACE PROVIDED THERE IS A MINIMUM CLEARANCE OF 6 INCHES BETWEEN THE DRIVER AND THE NEAREST POINT OF A STORAGE SPACE. E3903.11, IRC 2003.
- WHERE A LIGHTING OUTLET IS INSTALLED IN THE CEILING OF A DOWNLUNG UNIT IS PROVIDED, THE DOWNLUNG SHALL BE INSTALLED IN THE CEILING OF THE DOWNLUNG UNIT IS PROVIDED. THE OUTLET BOX SHALL BE FAN RATED. REGARDLESS OF THE INTIAL INTENTIONS OF USE FOR THE OUTLET BOX (NEC 314.3(A)).
- (AMEND) CONDUCTORS CANNOT BE USED FOR A BRANCH CIRCUIT LARGER THAN 15A.
- NEW ZEMCO OUTLET ABOVE SHOWERS AND ABOVE TUBS WITH SHOWERS SHALL BE MARKED BY THE MANUFACTURER AS SUITABLE FOR USE IN WET LOCATIONS, AND LUMINAIRES LOCATED ABOVE BATHTUBS, AND WITHIN 3 FEET OF THE EDGE OF THE TUB PAN ARE TO BE MARKED BY THE MANUFACTURER AS SUITABLE FOR USE IN DAMP LOCATIONS (NEC 410.10(D)).

# AS-BUILT GREENHOUSE DRAWINGS

## 143 CONDE STREET

### WEST CHICAGO, ILLINOIS 60185

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ARCHITECT, PLUMBER & ELECTRICIAN

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Fax: (773) 704-5281  
HAROLD@beronplumbing.com

NO.	REVISIONS	DATE
2	PER CITY REVIEW	12/20/2023
1	FOR CITY SUBMITTAL	12/13/2023
0	PER OWNER REVIEW	12/6/23

DATE: 12/1/2023

SHEET TITLE :  
**ELECTRICAL & PLUMBING PLANS**

PROJECT NO. 7080 SHEET NO. EP-1

DATE 12/1/2023

DESIGN HRANI LICENSE  
No. 184.007748-0001

11-3-0-2024

Professional Engineer Seal

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND KNOWLEDGE OF THE VALUE OF THE WORK AND THE CHICAGO BUILDING CODE AND ORDINANCES.