

CITY OF WEST CHICAGO

WHERE HISTORY & PROGRESS MEET

**Plan Commission/Zoning Board of Appeals
Tuesday, June 3, 2025 - 7:00 p.m.**

**West Chicago City Hall - Council Chambers
475 Main Street
West Chicago, IL 60185**

A G E N D A

1. **Call to Order, Roll Call and Determination of a Quorum**
2. **Pledge of Allegiance**
3. **Chairperson's Comments**
4. **Public Comment**
5. **Approval of the Draft April 2, 2025 Meeting Minutes**
6. **Public Hearing of Case PC 25-10 – Special Use Permit – 1880 Arthur Drive – Karen's Truck Repair, Inc.**

A request from Manuel Brito of Karen's Truck Repair, Inc. for approval of a Special Use Permit for a *Motor Vehicle Repair Shop* at 1880 Arthur Drive.
7. **Review and Recommendation of Case PC 25-10 – Special Use Permit – 1880 Arthur Drive – Karen's Truck Repair, Inc.**
8. **Public Hearing of Case PC 25-11 – Special Use Permit Amendment – 1200 North Prince Crossing Road – Forming America, LLC**

A request from Benjamin Start of Forming America, LLC for approval of a Seventh Amendment to the Special Use Permit to expand the paved area for ancillary outside storage at 1200 North Prince Crossing Road.
9. **Review and Recommendation of Case PC 25-11 – Special Use Permit Amendment – 1200 North Prince Crossing Road – Forming America, LLC**
10. **Public Hearing of Case PC 25-12 – Zoning Text Amendment – Chickens on Residential Properties**

A Zoning Text Amendment to permit the keeping of chickens on properties used for single-family detached residential.
11. **Review and Recommendation of Case PC 25-12 – Zoning Text Amendment – Chickens on Residential Properties**
12. **Petition Updates/Staff Report**
13. **Adjournment – Next Meeting Tuesday, July 1, 2025**

The Rules of Procedure for the Plan Commission/Zoning Board of Appeals can be found on the City's website at <https://westchicago.org/community-development/>

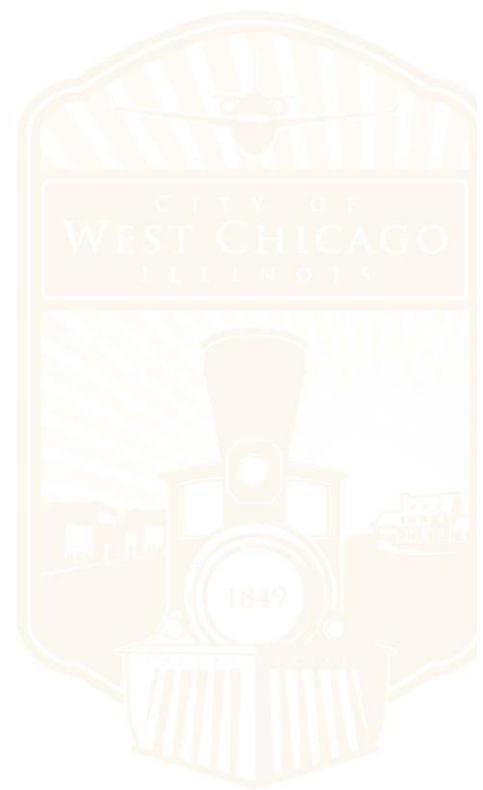
475 Main Street
West Chicago, Illinois
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Daniel Bovey
MAYOR

Tia Messino
INTERIM CITY
ADMINISTRATOR

cc: Plan Commissioners, Mayor, City Council, City Administrator, Department Heads,
Executive Office Manager, Chief Building Official, School Districts #25, #33, #94, #303,
#46, West Chicago Fire Protection District, West Chicago Park District, West Chicago
Public Library District, News Media



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ADMINISTRATOR

DRAFT

PLAN COMMISSION/ZONING BOARD OF APPEALS

April 2, 2025, 7:00 P.M.

1. Call to Order, Roll Call and Establishment of a Quorum

Chairperson Laimins called the meeting to order at 7:00 p.m. Roll call found Chairperson Laimins, Vice Chairperson Kasprak, and Commissioners Banasiak, Billingsley, Terrazas, present. Commissioners Slattery and Henkin were excused. With five members present, a quorum was established.

Staff in attendance included City Planner John Sterrett.

2. Pledge of Allegiance

Chairperson Laimins led the Commission in the Pledge of Allegiance.

3. Chairperson's Comments

Chairperson Laimins informed audience members that the meeting was being video and audio recorded.

4. Public Comment

None.

5. Approval of the Draft February 4, 2025 Meeting Minutes

Commissioner Billingsley made a motion, seconded by Commissioner Banasiak, to approve the draft February 4, 2025 meeting minutes. With a voice vote of all ayes, the motion carried.

6. Public Hearing of Case PC 25-08 – Comprehensive Plan Amendment – 525 N Neltner Boulevard – Educare West DuPage

Commissioner Kasprak made a motion, seconded by Commissioner Terrazas, to open the public hearing. With a voice vote of all ayes, the motion carried.

Mr. Sterrett was duly sworn in. Mr. Sterrett stated that Educare West DuPage, who recently purchased the property at 525 North Neltner Boulevard, consisting of two parcels totaling 4.3 acres, is requesting approval of an amendment to the City's Comprehensive Plan. The amendment would change the future land use designation of the western parcel of the property from Multi-Family Residential to Corridor Commercial on the Future Land Use Map. The subject parcel is roughly 2.68 acres, with 330 feet of frontage along Neltner Boulevard. The adjacent property to the south contains a commercial use located in the B-2 General Business District.

The subject parcel is currently zoned R-2 Single-Family Residential and was most recently used as a church. Educare West DuPage has an interest in converting the existing building to a daycare facility for its operations. The property's zoning, R-2, does not permit this type of use.

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The B-2 General Business District, however, does permit this use. Staff is of the opinion that B-2 zoning would be appropriate for this parcel because of its exposure on one of the City's three major commercial corridors. As previously mentioned, the property to the south is already located in the B-2 District and is occupied by a commercial enterprise. The City's Future Land Use Plan, however, contemplates Multi-Family Residential for the parcel. Educare is therefore seeking an amendment to the Comprehensive Plan to amend the Future Land Use Map to indicate the parcel as Corridor Commercial. The change in the future land use designation would apply only to the western parcel of the property and the eastern parcel would still be considered for future multi-family.

The development along Neltnor Boulevard has been predominantly commercial. Although no recent zoning map amendments have occurred in the general area, commercial development has occurred both north and south of the subject property. The property's location along a major commercial corridor is suitable for a non-residential use serving the public interest, such as the proposed daycare facility.

Justin McGrath and Marcie Sweeney of Educare were duly sworn in and answered general questions about the proposal and gave background to what Educare's intent for the property is.

The following members from the public were sworn and provided testimony:

Cathy Blozis – Spoke in opposition
Renee St. Laurent – Spoke in opposition
Arthur Schattke – Spoke in opposition
Candice Cyrier– Spoke in opposition
Wayne Beth – Spoke in opposition
Karen Cruz – Spoke in opposition
Richard Knight– Spoke in opposition

With all members of the public having had the opportunity to speak, and with all Plan Commissioners having the opportunity to question staff, Commissioner Kasprak made a motion, seconded by Commissioner Terrazas, to close the public hearing. With a voice vote of all ayes, the motion carried, and the public hearing was closed.

7. Review and Recommendation of Case PC 25-08 – Comprehensive Plan Amendment – 525 N Neltnor Boulevard – Educare West DuPage

The Plan Commission deliberated the request. Commissioner Terrazas made a motion, seconded by Commissioner Kasprak, to recommend approval of the proposed Comprehensive Plan Amendment. With a roll call vote of all ayes the motion carried.

8. Public Hearing of Case PC 25-07 – Zoning Map Amendment – 525 N Neltnor Boulevard – Educare West DuPage

Commissioner Billingsley made a motion, seconded by Commissioner Banasiak, to open the public hearing. With a voice vote of all ayes, the motion carried.

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Mr. Sterrett was duly sworn in. Mr. Sterrett stated that Educare West DuPage, a non-profit specializing in caring for and educating children from birth to 5 years old, purchased the property and has plans to use the existing structure as a daycare facility. Minimal site improvements are needed to accommodate the proposed use. The property is located in the R-2 Single-Family Residential District, which does not permit daycare facilities. This type of use is, however, permitted by right in the B-2 General Business District. Thus, Educare is seeking a Zoning Map Amendment to place the parcel with the existing structure (the western parcel) in the B-2 General Business District.

Educare is also seeking to place the eastern parcel in the R-6 Multiple-Family Residential District. While Educare has no plans to develop the eastern parcel, they are seeking to rezone it to market it for potential developers of the site. No plans have been submitted to the City indicating how the site could potentially be laid out with multi-family residential units. The Future Land Use Map contained in the City's Comprehensive Plan contemplates the entire property for Multi-Family Residential. Educare is seeking a separate Comprehensive Plan amendment to amend the western parcel to Corridor Commercial. See Case PC 25-08 for the Comprehensive Plan Amendment.

The subject property consists of two parcels and is roughly 4.3 acres with frontage on Neltnor Boulevard (Illinois Route 59), Grove Avenue, and Ridgeland Avenue. The western parcel is approximately 2.68 acres and is improved with a 2-story brick building previously used as a place of worship and has an accessory structure in the rear. The property has 65 parking stalls with the majority located in a parking lot behind the building. There are two full access points on the property with one on Neltnor Boulevard and the other on Grove Avenue. The eastern parcel is roughly 1.62 acres and is vacant.

Justin McGrath and Marcie Sweeney of Educare were duly sworn in and answered general questions about the proposal and gave background to what Educare's intent for the property is.

The following members from the public were sworn and provided testimony:

Cathy Blozis – Spoke in opposition
Richard Knight – Spoke in opposition
Renee St. Laurant – Spoke in opposition
David Sabathne – Spoke in support
Wayne Beth – Spoke in opposition

With all members of the public having had the opportunity to speak, and with all Plan Commissioners having the opportunity to question staff, Commissioner Kasprak made a motion, seconded by Commissioner Terrazas, to close the public hearing. With a roll call vote of all ayes the motion carried.

9. Review and Recommendation of Case PC 25-07 – Zoning Map Amendment – 525 N Neltnor Boulevard – Educare West DuPage

CITY OF WEST CHICAGO

WHERE HISTORY & PROGRESS MEET

The Plan Commission deliberated the request. Commissioner Kasprak made a motion, seconded by Commissioner Billingsley, to recommend approval of the proposed Zoning Map Amendment of the western parcel from R-2 Single-Family Residential to B-2 General Business, and incorporated the following Findings of Fact with the recommendation:

1. The existing uses and zoning of the property in question.

The subject property is located in the R-2 Single-Family Residential District and was most recently used as a place of worship, which is permitted in this district. The property has since been sold to Educare and the use of a place of worship has ceased.

2. The existing uses and zoning of other lots in the vicinity.

The property to the south is located in the B-2 General Business District and is used as a VFW Hall. Other properties in the area are a mix of various single-family residential zonings, both incorporated and unincorporated.

3. Suitability of the property in question for uses already permitted under the existing regulations.

The current district of R-2 Single Family Residential limits the amount of development that may occur on the property and its frontage along a major commercial corridor would not be desirable for single-family homes.

4. Suitability of the property in question for the proposed use.

The property's location along a major commercial corridor is ideal for a non-residential use serving the public interest, such as the proposed daycare facility.

5. The trend of development in the vicinity of the property in question, including any recent zoning activity.

The development along Neltnor Boulevard has been predominantly commercial. Although no recent zoning map amendments have occurred in the general area, commercial development has occurred both north and south of the subject property.

6. The effect the proposed rezoning would have on implementation of the Comprehensive Plan.

The rezoning of the property will be consistent with the Comprehensive Plan once a proposed Comprehensive Plan Amendment is approved to designate this portion of the property as Corridor Commercial on the City's Future Land Use Map.

7. Impact on surrounding properties.

The proposed rezoning of the property to B-2 General Business will not affect the surrounding properties and will be consistent with commercial development along Neltnor Boulevard.

8. Impact on health, safety, or welfare of the community.

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The rezoning of the property to B-2 General Business will allow for commercial uses along Neltnor Boulevard, which is a major commercial corridor in the City.

With a roll call vote of all ayes the motion carried.

Commissioner Kasprak made a motion, seconded by Commissioner Terrazas, to recommend approval of the proposed Zoning Map Amendment of the eastern parcel from R-2 Single-Family Residential to R-6 Multiple-Family Residence, and incorporated the following Findings of Fact with the recommendation:

1. The existing uses and zoning of the property in question.

The subject property is located in the R-2 Single-Family Residential District and was most recently used as a place of worship, which is permitted in this district. The property has since been sold to Educare and the use of a place of worship has ceased.

2. The existing uses and zoning of other lots in the vicinity.

The property to the south is located in the B-2 General Business District and is used as a VFW Hall. Other properties in the area are a mix of various single-family residential zonings, both incorporated and unincorporated.

3. Suitability of the property in question for uses already permitted under the existing regulations.

The current district of R-2 Single Family Residential limits the amount of development that may occur on the property.

4. Suitability of the property in question for the proposed use.

The Plan Commission believes at this time the rezoning of the eastern parcel would impact the neighborhood.

5. The trend of development in the vicinity of the property in question, including any recent zoning activity.

The development along Neltnor Boulevard has been predominantly commercial. Although no recent zoning map amendments have occurred in the general area, commercial development has occurred both north and south of the subject property.

6. The effect the proposed rezoning would have on implementation of the Comprehensive Plan.

The rezoning of the eastern portion of the property is consistent with the Comprehensive Plan as multi-family residential.

7. Impact on surrounding properties.

The Plan Commission believes at this time the rezoning of the eastern parcel would impact the neighborhood.

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8. Impact on health, safety, or welfare of the community.

The Plan Commission believes at this time the rezoning of the eastern parcel would impact the neighborhood.

With a rollcall vote of all nays, the motion failed.

10. Public Hearing of Case PC 25-09 – Special Use Permit – 800 W Washington Street – Frain Industries

Commissioner Banasiak made a motion, seconded by Commissioner Kasprak, to open the public hearing. With a voice vote of all ayes, the motion carried.

Mr. Sterrett was duly sworn in. Mr. Sterrett stated that Frain Industries, a processing and packaging equipment supplier, is proposing to store roofing materials on pallets outside the building in the paved area where the trailer parking formerly occurred. The storage area would be limited to an area of 50' X 160' feet, occupying approximately 20 trailer stalls, which are not needed by Frain. The roofing materials will be stored outside temporarily until they are brought inside to be unpackaged, sorted, and then repackaged and then loaded onto a truck for delivery. No other machinery or equipment is proposed to be stored outside, only the roofing materials. The storage will be contained on a hard surface, as required by the Zoning Code. The petitioner will be adding 8-foot tall privacy fencing on the west and north property lines. The building will screen the storage on the east side and the storage area is not visible from the south because of extensive tree coverage.

The subject property is roughly 38 acres with frontage on Town Road and West Washington Street in the M Manufacturing District. The property contains a 345,000 square foot industrial building that was previously used by General Mills until its closure. The petitioner, Frain Industries, purchased the property from General Mills and has been using it for warehousing of products. The property has a large, fenced-in paved area on the west side of the building that was previously used for trailer parking associated with General Mills.

Dale Hammersmith of Frain Industries was duly sworn in and spoke about the project.

With all members of the public having had the opportunity to speak, and with all Plan Commissioners having the opportunity to question staff, Commissioner Banasiak made a motion, seconded by Commissioner Terrazas, to close the public hearing. With a roll call vote of all ayes the motion carried.

11. Review and Recommendation of Case PC 25-09 – Special Use Permit – 800 W Washington Street – Frain Industries

The Plan Commission deliberated the request. Commissioner Banasiak made a motion, seconded by Commissioner Terrazas, to recommend approval of the proposed Special Use Permit, and incorporated the following Findings of Fact with the recommendation:

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(A) Is necessary for the public convenience at the location or, the case of existing nonconforming uses, a special use permit will make the use more compatible with its surroundings. ****This standard should be interpreted as indicating whether or not the proposed use is good for the public at that particular physical location, and not whether or not the use itself is needed there****

The proposed use is only permitted in the Manufacturing District and the property currently has a large area that is already fenced in, paved, and set back approximately 600 feet from edge of the right-of-way, convenient for outside storage. Staff is of the opinion the petitioner has satisfied this finding.

(B) Is so designed, located and proposed to be operated that the public health, safety and welfare will be protected:

The area where the outside storage is minimal and will be properly located on an existing paved surface. Additional privacy fencing will be installed to screen the property from north and west. The building serves as screening to the east and existing extensive tree coverage is located on the south. Staff is of the opinion the petitioner has satisfied this finding.

(C) Will not cause substantial injury to the value of other property in the neighborhood in which it is located:

The proposed ancillary use of outside storage on the property is similar to other industrial properties along the West Washington Street corridor. The storage will be screened from public view and the area the storage will be permitted in will be small in size compared to the rest of the property. Staff is of the opinion the petitioner has satisfied this finding.

(D) The proposed special use is designated by this code as a listed special use in the zoning district in which the property in question is located:

The proposed use of an employment agency with temporary staff reporting to the agency is listed as a special use in the M Manufacturing District, per Section 11.2-4 (L) of the West Chicago Zoning Code. Staff is of the opinion the petitioner has satisfied this finding.

With a roll call vote of all ayes, the motion carried.

12. Petition Updates/Staff Report

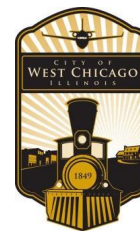
Mr. Sterrett provided a brief update on upcoming projects and previously approved projects.

13. Adjournment

With no further business to discuss, Commissioner Kasprak made a motion, seconded by Commissioner Billingsley to adjourn the meeting. With a voice vote of all ayes, the motion carried and the Plan Commission, at 8:44 p.m., adjourned.

Respectfully Submitted,
John Sterrett, City Planner

**City of West Chicago
Community Development Department
Report for the Plan Commission/Zoning Board of Appeals
June 3, 2025**



Case: PC 25-10
Petitioner: Manuel Brito of Karen's Truck Repair, Inc. represented by Bradley Bullington
Address: 1880 Arthur Drive
Zoning: M Manufacturing District
Existing Use: Vacant
Comp Plan: Industrial
Request: A Special Use Permit, in accordance with Section 5.5 of the Zoning, for a *Motor Vehicle Repair Shop*, in accordance with Section 11.2-4(C) of the Zoning Code.
Summary: The request for the Special Use Permit for a Motor Vehicle Repair Shop meets the standards for a Special Use Permit in accordance with Section 5.5 of the Zoning Code.

Staff Recommendation: APPROVAL WITH CONDITIONS

Staff recommends the Plan Commission/Zoning Board of Appeals pass a motion recommending approval of the Special Use Permit and zoning variances subject to the conditions outlined below.

1. The site shall be developed in substantial compliance with the following plans:
 - a. Preliminary Engineering Plan, consisting of one (1) sheet prepared by Bohnak Engineering, Inc. dated April 14, 2025.
 - b. Landscaping Plan, consisting of one (1) sheet prepared by Sosta Inc. dated March 31, 2025.
2. No off-site storage of any kind, including trucks or other vehicles not being serviced by the Motor Vehicle Repair Shop, shall occur on the property.
3. Vehicles being serviced by the Motor Vehicle Repair Shop shall be kept on the property for no more than five (5) days, per Section 7.9(F) of the Zoning Code.
4. All trucks shall be repaired within the principal structure.

Public Notice.

All public notice requirements were completed including a notice of public hearing published in the Daily Herald on Monday, May 19, 2025, notification to all property owners within 250 feet of the subject property, and placement of hearing signs on the property visible from Arthur Drive. No public correspondence has been received as of the time of this report being published.

Adjacent Property Zoning and Land Use Information.

<i>Location</i>	<i>Adjacent Zoning</i>	<i>Adjacent Land Use</i>	<i>Comprehensive Plan</i>
North	M Manufacturing	Industrial	Industrial
South	M Manufacturing	Industrial	Industrial
East	M Manufacturing	Industrial	Industrial
West	M Manufacturing; A Airport	Vacant; DuPage Airport	Airport

Existing Conditions.

The subject property is located immediately to the east of the DuPage Airport at the southeast corner of Arthur Drive and Howard Drive. The property is approximately 4.2 acres and is vacant. The property has frontage on both Arthur Drive and Howard Drive. The uses in the immediate area are industrial uses.

Proposal.

The petitioner's business, Karen's Truck Repair, is an existing West Chicago business currently located at 1090 Carolina Drive. The business has outgrown this space and is proposing to develop the subject property and relocate the business. The petitioner is proposing a 17,000 square foot truck repair facility with twenty (20) parking stalls for customers and employees. Behind the structure the petitioner is proposing a parking lot for trucks to be parked temporarily while waiting to either be serviced or to be picked up by their owner. Access to the site is proposed off Arthur Drive as well as Howard Drive.

Parking.

The proposed structure requires at least seventeen (17) parking stalls. The petitioner is proposing to install twenty (20) parking stalls, two (2) of which will be reserved for accessibility, to satisfy the minimum requirement. The dimensions of the stalls, including the two (2) accessible stalls, comply with the minimum requirements.

Landscaping.

The subject property will be screened on all sides with landscaping including shade trees, ornamental trees, evergreens, and shrubs. A ten (10) foot tall solid privacy fence will be installed around the portion of the property where trucks will be temporarily kept to screen vehicles from public view. All required landscape yards and screening requirements have been satisfied.

Site Lighting.

The property will be illuminated with parking lot light poles and building lighting. All light fixtures will be LED with flat bottom cutoffs to prevent glare onto adjacent properties. The submitted photometric plan indicates that there will be no light spillover onto adjacent properties beyond the maximum illumination level permitted of 5.0 foot-candles. Light fixtures will not exceed the maximum height permitted of thirty (30) feet.

Signage.

No plans for signage have been submitted. If any signage is proposed, either as a freestanding sign or building sign, a building permit application for such shall be submitted for review to verify compliance with the Sign Code.

Special Use Findings of Fact

As stated under Section 5.5-4, the Plan Commission/Zoning Board of Appeals shall recommend a special use only if it shall make findings of fact based upon evidence presented that the special use:

- (1) Is necessary for the public convenience at that location or, the case of existing nonconforming uses, a special use permit will make the use more compatible with its surroundings:*

(This standard should be interpreted as indicating whether or not the proposed use is good for the public at that particular physical location, and not whether or not the use itself is *needed* there).

The use of the Motor Vehicle Repair Shop is proposed on a property in the M Manufacturing District in an area that has several nearby uses associated with warehousing and distribution. The location will accommodate its market of truck repair by being in close proximity to these existing uses.

- (2) Is so designed, located and proposed to be operated that the public health, safety and welfare will be protected:*

The property will have extensive screening between a mixture of landscaping and solid fencing to screen from public view. The commercial use of a motor vehicle repair shop is compatible with industrial uses in the area and will complement and serve as a

(3) Will not cause substantial injury to the value of other property in the neighborhood in which it is located:

The use of the property for a *Motor Vehicle Repair Shop* will be consistent with the previous legal nonconforming use that occurred for 40+ years as well as the existing uses in the general vicinity, which are predominately industrial.

(4) The proposed special use is designated by this code as a listed special use in the zoning district in which the property in question is located:

The use of the subject property for a *Motor Vehicle Repair Shop* is listed as a special use, per Section 11.2-4(C) of the Zoning Code.

Exhibits.

- Exhibit A – Location Map
- Exhibit B – Aerial Map
- Exhibit C – Zoning Map
- Exhibit D – Preliminary Engineering Plan, consisting of one (1) sheet prepared by Bohnak Engineering, Inc. dated April 14, 2025
- Exhibit E – Landscaping Plan, consisting of one (1) sheet prepared by Sosta Inc. dated March 31, 2025

Exhibit "A"



Exhibit "B"

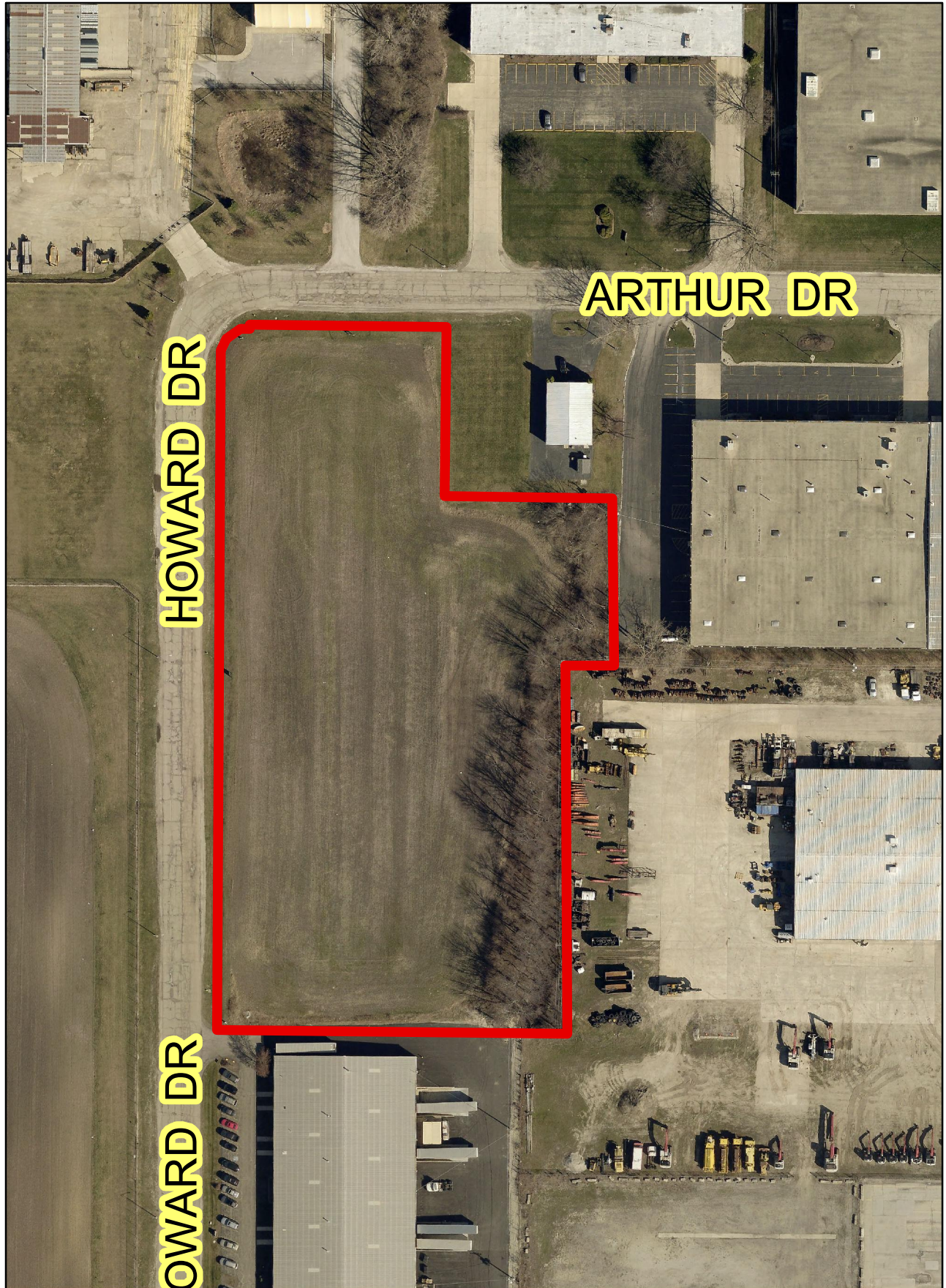
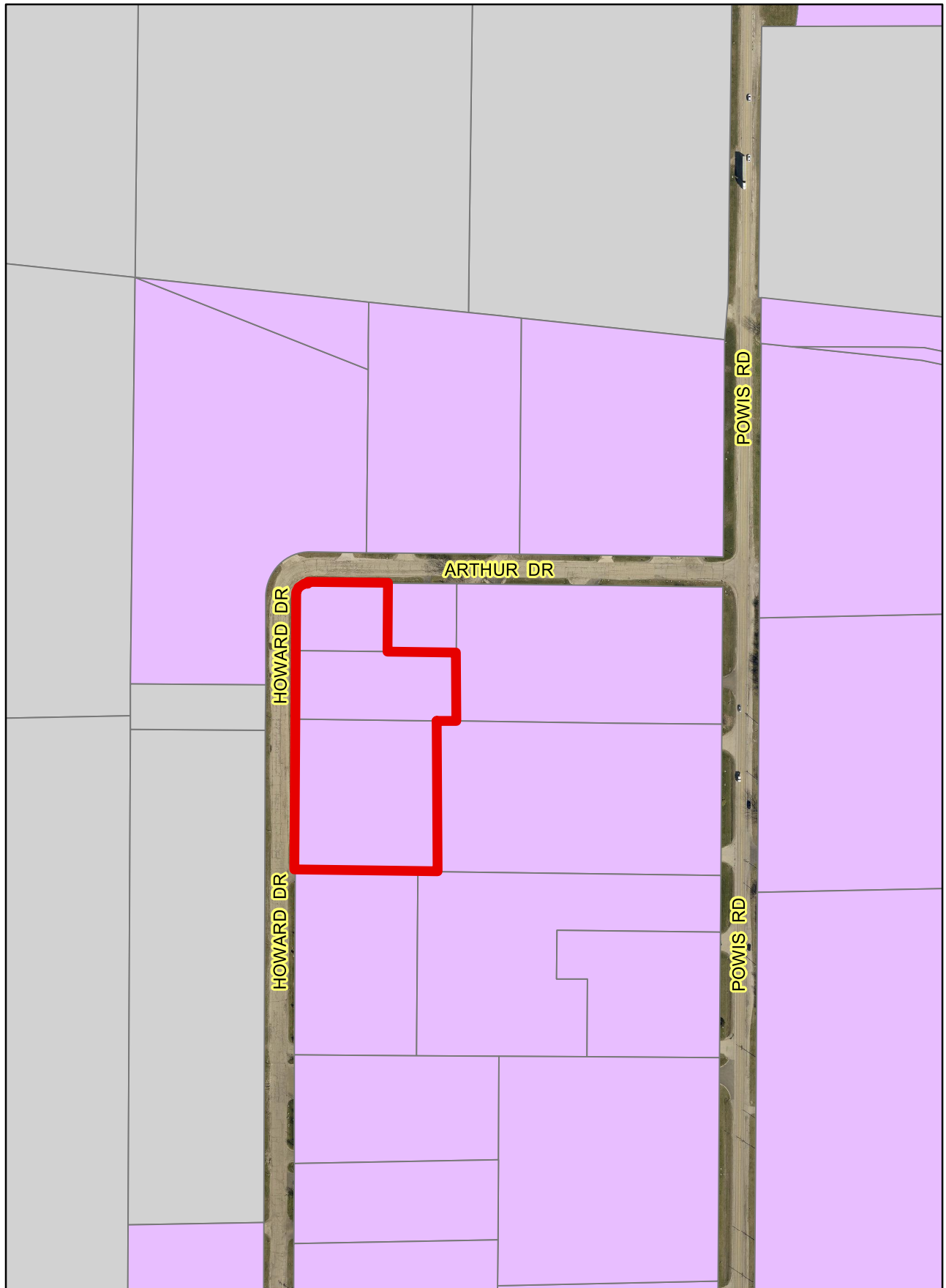


Exhibit "C"





DWG. NO.
A5C
12 OF 14

DATE: 11-7-24
JOB NO: 000-24
DRAWN:
CHECKED:

NEW CONSTRUCTION
PROPOSED TRUCK REPAIR FACILITY
1400 HOWARD DR.
WEST CHICAGO IL 60185.
BUILD ELEVATIONS

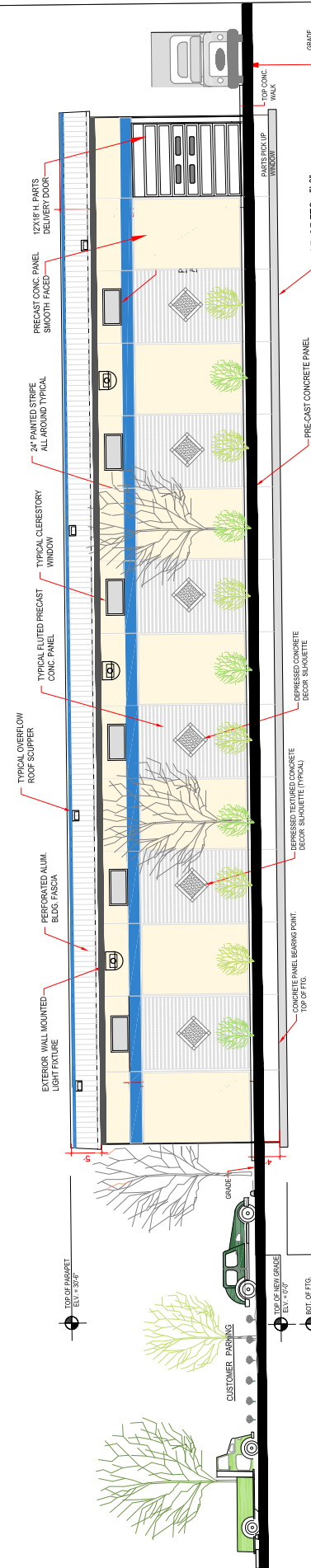
SOSTA INC.
Architects Engineers Interior Designers
8074 WILLIAM DRIVE WILLOWBROOK IL 60527
OFFICE: (630) 601-0889 MOBILE: (630) 975-2500 E-MAIL: SOSTA@SOSTA.COM

STATIS STEVE KARYOLOS
ARCHITECT AIA NO. 0414467
TEL: 630-601-0889
MOBILE: 630-975-2500

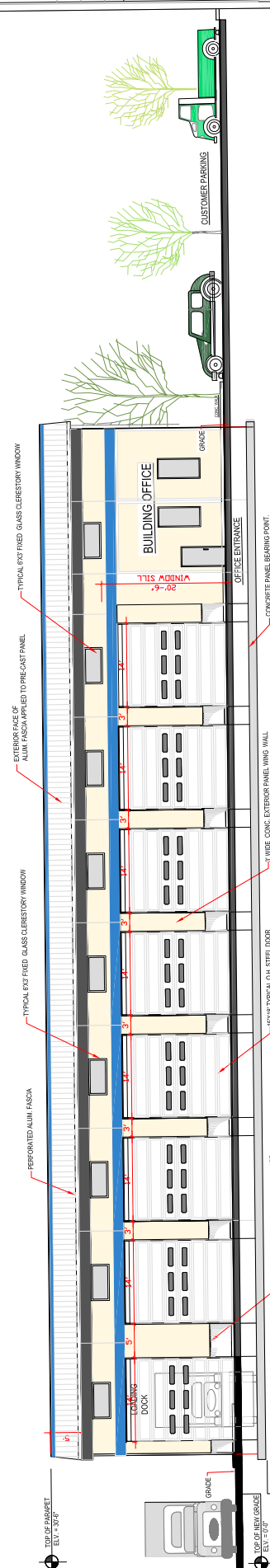
REV.	DATE	BY	DESCRIPTION	APPROVED
1	06-24	PELKA DWG		

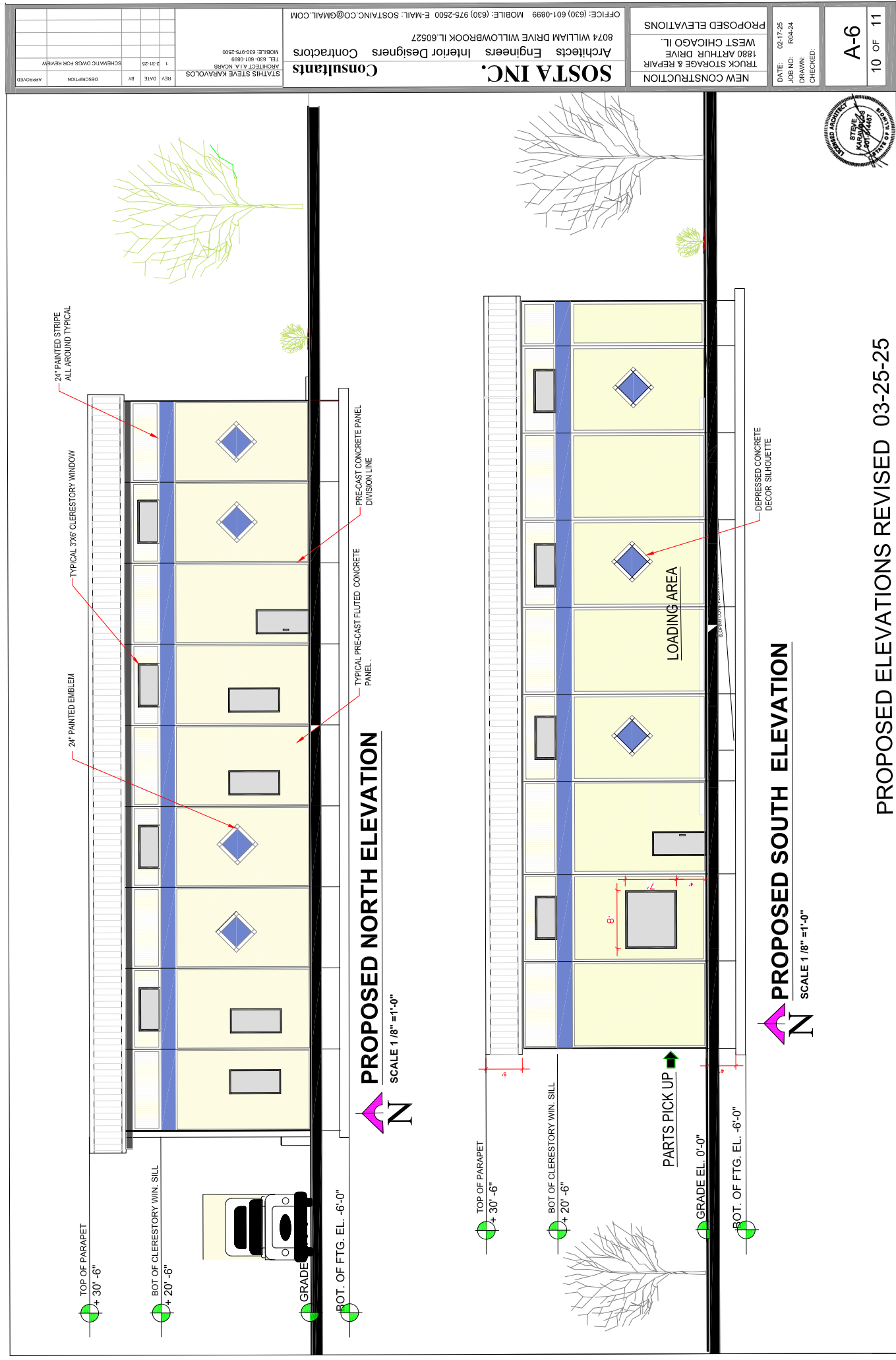
ELEVATIONS REVISED FOR PRESENTATION 02-25-25

PROPOSED WEST ELEVATION
SCALE 1/8" = 1'-0"



PROPOSED EAST ELEVATION
SCALE 1/8" = 1'-0"





TYPICAL ROOF CONSTRUCTION

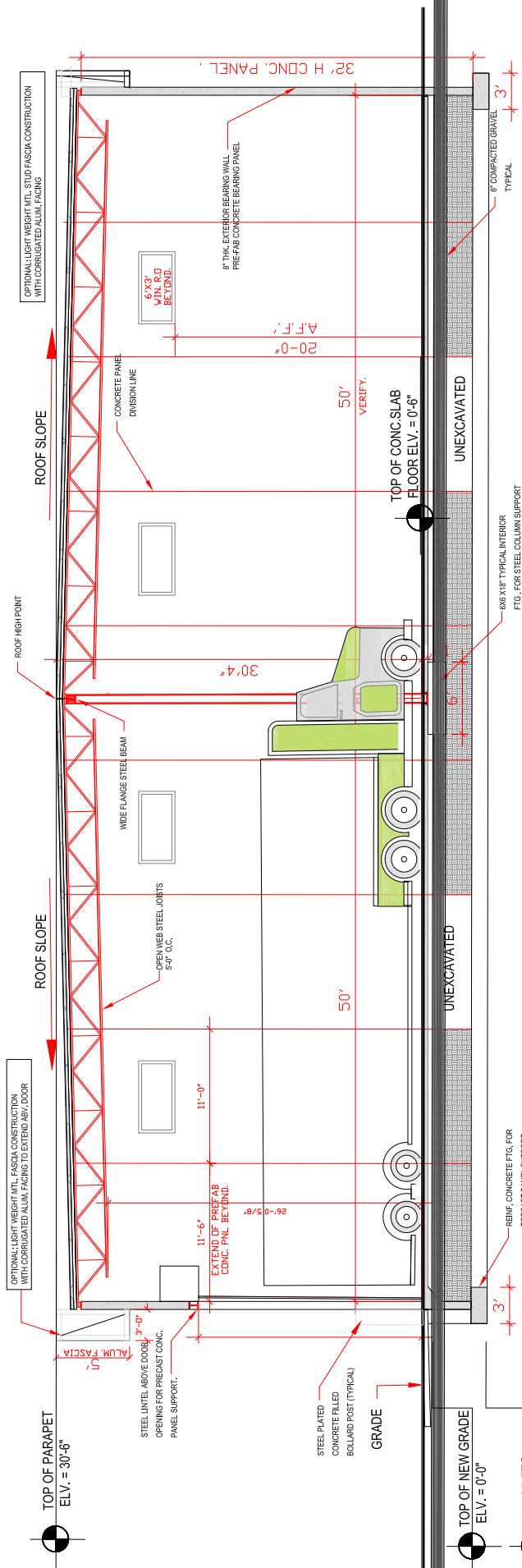
T&O MEMBRANE ROOFING APPLIED OVER 4" STYROFOAM RIGID INSULATION OVER 3" CORRUGATED COMPOSITE STEEL DECKING SUPPORTED BY LONG SPAN LH STEEL JOIST 5'-0" OC.

TYPICAL EXTERIOR BEARING WALL CONSTRUCTION

8" THK PRE-CAST CONCRETE WALL PANELS DESIGNED BY THE MANUFACTURER AND DELIVERED ON SITE. PANELS SHALL BE RAISED IN PLACE BY THE USE OF A CRANE
NOTE: SHOP DRAWINGS MUST BE PREPARED AND SUBMITTED TO THE ARCHITECT OF RECORD FOR REVIEW PRIOR TO MANUFACTURING OF THE PANELS.

TYPICAL FLOOR CONSTRUCTION

6" THK CONCRETE SLAB ON GRADE, REINF. W/ 6X6 #10 WIRE MESH OVER 6 MIL. POLYTHENE VAPOR BARRIER OVER 8" COMPACTED GRAVEL
NOTE: STRUCTURAL DRAWINGS SHALL BE REQUIRED BY AN ILLINOIS LICENSE STRUCTURAL ENGINEER TO ACCOMMODATE HEAVY FLOOR LOADS.



PROPOSED STRUCTURAL BLDG. SECTION A-A

SCALE 3/16" = 1'-0"

DRAWN FOR REFERENCE



BLDG. SECTION REVISED FOR PRESENTATION 02-25-25



DWG. NO. A7C

14 OF 14

DATE: 11-7-24
JOB NO: C03-24
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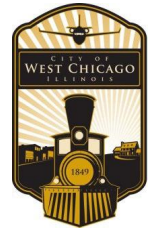
NEW CONSTRUCTION
PROPOSED TRUCK REPAIR FACILITY
1400 HOWARD DR.
WEST CHICAGO I.L. 60618.
STRUCTURAL
BUILD SECTION

SOSTA INC.
Architects Engineers Interior Designers Contractors
8074 WILLIAM DRIVE WILLOWBROOK I.L. 60527
OFFICE: (630) 601-0899 MOBILE: (630) 975-2500 E-MAIL: SOSTAINC.CO@GMAIL.COM

STATIS STEVE KARAVOLOS
ARCHITECT ALA NCARB
TEL: 630-601-0899
MOBILE: 630-975-2500

REV	DATE	BY	DESCRIPTION	APPROVED
1	10/24	PKB/AL DWGS		

City of West Chicago
Community Development Department
Report for the Plan Commission/Zoning Board of Appeals
June 3, 2025



Case: PC 25-11

Petitioner: Forming America, LLC represented by Benjamin Start of Forming America, LLC

Owner: Star Assets LLC

Location: 1200 North Prince Crossing Road

Zoning: M Manufacturing District

Existing Use: Concrete Forms Manufacturing

Comp Plan: Industrial

Request: A Seventh Amendment to the Special Use Permit originally approved under Ordinance 07-O-0049 and most recently amended under Ordinance 24-O-0027 in 2024, to amend the approved Paving and Layout Plan.

Summary: The proposed amendment would amend the controlling Paving and Layout Plan to pave an 80,937 square foot area to the north of the existing pavement which is currently open space.

Recommendation:

Staff recommends the Plan Commission adopt the Findings of Fact suggested by staff on page 2 of this report and pass a motion recommending **APPROVAL** of the proposed amendment, subject to the following conditions:

1. The site shall be developed in substantial compliance with the following plans:
 - a. Paving and Layout Plan consisting of one sheet (Sheet C-2) prepared by Webster McGrath & Ahlberg, Ltd dated August 7, 2024.
 - b. Landscape and Buffer Restoration Plan consisting of one sheet (Sheet L-1) prepared by Webster McGrath & Ahlberg, Ltd dated August 7, 2024.
2. Conditions 1 through 8 and 11 of Section 1 in Ordinance 19-O-0003 shall remain in full force and effect.
3. Conditions 2 and 3 of Section 1 in Ordinance 23-O-0037 shall be stricken in their entirety.

Public Notice.

All public notice requirements were completed including a notice of public hearing published in the Daily Herald on Monday, May 19, 2025, notification to all property owners within 250 feet of the subject property, and placement of hearing signs on the property visible from North Prince Crossing Road. One piece of correspondence was received from the DuPage County Forest Preserve District, attached as Exhibit "H".

Background.

Forming America, located at 1200 North Prince Crossing Road, operates a concrete forms manufacturing facility with ancillary outside storage that originally received Special Use Permit approval in 2007. The Special Use Permit is to allow outside storage on the property ancillary to the principal use of a concrete forms operation. The Special Use Permit has been amended six times. One of the conditions of the Special Use Permit approval is the requirement to pave all areas of the property where outside storage would

occur. Paving of these areas took a considerable amount of time and several amendments were approved extending the timeframe for when paving had to be completed.

Forming America completed paving all areas where outside storage is occurring as indicated on their Paving and Layout Plan. All outside storage is now currently located on paved areas.

Proposal.

The petitioner is now proposing to pave the final area property, which is located immediately north of the existing paved areas. To do so, a seventh amendment is needed to the Special Use Permit to include this area in the controlling pavement plan. The proposed paved area is 80,937 square feet. The existing detention basin was not originally sized to accommodate this area and therefore the petitioner is also proposing to increase the volume of the existing detention basin. The proposed size and modifications to the detention have been determined to be sufficient for the additional 80,937 square foot paved area. Both the City's Stormwater Engineer and the Public Works Department have approved the plans for the increased detention basin and pavement area. The paved area will be screened with a fence to match the height and style of the existing fence along North Prince Crossing Road.

Special Use Findings of Fact:

As stated under Section 5.5-4, the Plan Commission/Zoning Board of Appeals shall recommend a special use only if it shall make findings of fact based upon evidence presented that the special use:

*(1) Is necessary for the public convenience at the location or, the case of existing nonconforming uses, a special use permit will make the use more compatible with its surroundings. ***This standard should be interpreted as indicating whether or not the proposed use is good for the public at that particular physical location, and not whether or not the use itself is needed there****

The proposed expansion of the storage yard is consistent with the existing ancillary use on the property for outside storage to support the existing concrete forms manufacturing. Once this paving occurs, the petitioner will not have additional space to pave any future areas for outside storage. Staff is of the opinion the petitioner has satisfied this finding.

(2) Is so designed, located and proposed to be operated that the public health, safety and welfare will be protected:

The petitioner will increase the volume capacity of the existing stormwater detention basin to account for the increase in pavement on the property. The modified basin and increased pavement has been designed to comply with the DuPage County Stormwater Ordinance and will be screened from public view in the same manner the existing outside storage is screened. Staff is of the opinion the petitioner has satisfied this finding.

(3) Will not cause substantial injury to the value of other property in the neighborhood in which it is located:

The proposed expansion of the paved storage area is consistent with the existing uses occurring on the property and will not significantly change the character of the surrounding area. The increased detention size will capture the additional stormwater runoff generated by the paved area to comply with the DuPage County Stormwater Ordinance. Staff is of the opinion the petitioner has satisfied this finding.

(4) *The proposed special use is designated by this code as a listed special use in the zoning district in which the property in question is located:*

The existing manufacturing facility with ancillary outside storage listed as a special use per Section 11.2-4 (T) of the Zoning Code. No change in use will occur on the property. Staff is of the opinion the petitioner has satisfied this finding.

Exhibits.

Exhibit A – Location Map

Exhibit B – Zoning Map

Exhibit C – Aerial Photo

Exhibit D – Ordinance 19-O-0003

Exhibit E – Ordinance 24-O-0027

Exhibit F – Paving and Layout Plan consisting of one sheet (Sheet C-2) prepared by Webster McGrath & Ahlberg, Ltd dated August 7, 2024.

Exhibit G – Landscape and Buffer Restoration Plan consisting of one sheet (Sheet L-1) prepared by Webster McGrath & Ahlberg, Ltd dated August 7, 2024.

Exhibit H – Correspondence from the DuPage County Forest Preserve District dated May 6, 2025

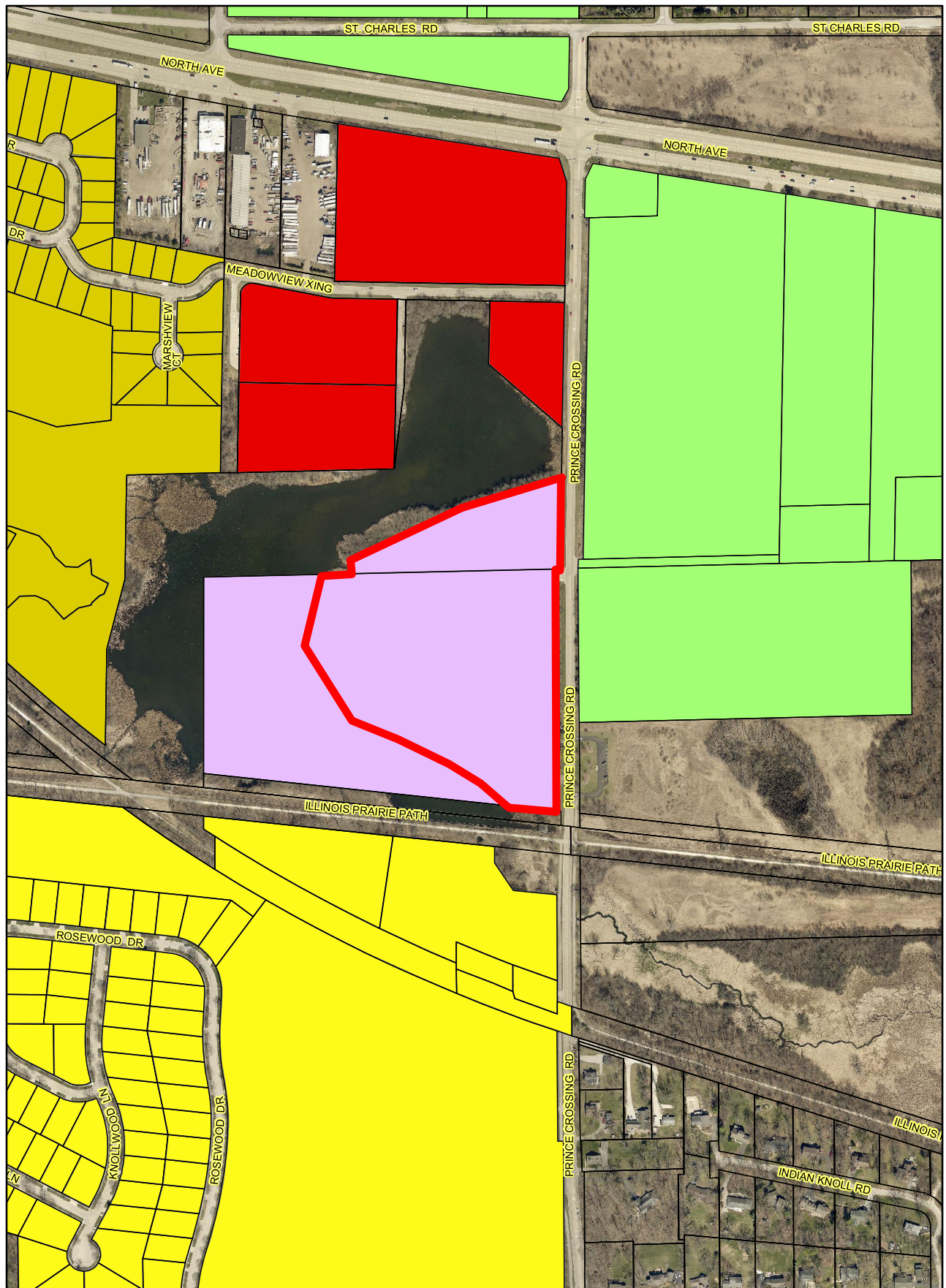
Exhibit "A"



Exhibit "B"



Exhibit "C"



ORDINANCE NO. 19-O-0003

AN ORDINANCE APPROVING A FOURTH AMENDMENT TO THE
OUTSIDE STORAGE SPECIAL USE FOR 1200 N. PRINCE CROSSING ROAD –
FORMING AMERICA, LTD.

WHEREAS, on or about November 12, 2018, James Langkamp of Forming America, Ltd. (the “APPLICANT”) filed an application for a fourth amendment to the previously approved special use permit for an outside storage yard, with respect to the property legally described on Exhibit “A” attached hereto and incorporated herein (the “SUBJECT REALTY”); and,

WHEREAS, the corporate authorities of the City of West Chicago granted the original special use by Ordinance 07-O-0049 on August 20, 2007; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the first amendment to the special use by Ordinance 11-O-0069 on December 19, 2011; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the second amendment to the special use by Ordinance 14-O-0023 on July 21, 2014; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the third amendment to the special use by Ordinance 16-O-0019 on April 18, 2016; and,

WHEREAS, Notice of Public Hearing on said application was published in the Daily Herald on or about December 28, 2018, all as required by the ordinances of the City of West Chicago and the statutes of the State of Illinois; and,

WHEREAS, at the Public Hearing, the APPLICANT provided testimony in support of its application and all interested parties had an opportunity to be heard; and,

WHEREAS, the corporate authorities of the City of West Chicago have received from Plan Commission/Zoning Board of Appeals a notice, incorporated herein, of a 3-2 vote in support of a fourth amendment to the special use with a September 30, 2019 deadline for completing the referenced work; and,

WHEREAS, the vote at the Plan Commission/Zoning Board of Appeals was insufficient to generate a formal recommendation, therefore requiring a supermajority of the City Council to confirm adoption of the fourth amendment to the special use for the SUBJECT REALTY.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of West Chicago, DuPage County, Illinois, in regular session assembled, as follows:

Section 1. That a fourth amendment to the special use permit for an outside storage yard in conformance with Section 5.5 and Section 11.2-4(T) of the Zoning Ordinance is hereby granted on the SUBJECT REALTY subject to the following conditions:

1. The APPLICANT shall only utilize those areas of the SUBJECT REALTY for outside storage that have been improved according to the approved Site and Engineering Plans.
2. The buildings and the storage yard on the SUBJECT REALTY shall only be utilized by Forming America, Ltd. or its successors.
3. The storage yard shall only contain items that are directly related to the operation of the business occupying the SUBJECT REALTY.
4. No items stored with the storage yard on the SUBJECT REALTY, other than vehicles, shall exceed the height of the storage yard fence such that they are visible from Prince Crossing Road.
5. No outside storage on the SUBJECT REALTY shall block, hinder, restrict, or render unusable any required parking spaces or fire lanes.
6. The landscaping on the SUBJECT REALTY shall be installed and maintained in compliance with the Landscape Plan prepared by Flamingo Landscape Inc., consisting of one (1) sheet dated July 25, 2007, and made part of Ordinance 07-O-0049. All landscaping on the SUBJECT REALTY located within ten (10) feet of the perimeter of any proposed parking lot or storage yard pavement improvements shall be installed within thirty (30) days after the installation of the adjacent parking lot or storage yard pavement improvements.
7. The APPLICANT shall submit revised as-built plans within three (3) months of the completion of each phase of the paving and City staff approval shall be obtained within eight (8) months of the revised submittal.
8. The APPLICANT shall have all outside storage on the SUBJECT REALTY on a paved surface within one (1) year of the completion of Phase I and II paving.

8. The APPLICANT shall have all outside storage on the SUBJECT REALTY on a paved surface within one (1) year of the completion of Phase I and II paving.
9. The SUBJECT REALTY shall be developed in substantial compliance with the Paving and Layout Plan prepared by Webster, McGrath & Ahlberg, Ltd., dated September 29, 2014, consisting of a final revision date of January 14, 2015 and in compliance with the pavement improvement completion deadlines identified on the 2019 Paving Plan – Yearly Completion Dates chart, a copy of which is attached hereto as Exhibit “C”, which is, by this reference, incorporated herein. All paving shall be completed to the City’s satisfaction no later than July 31, 2019.
10. The APPLICANT shall provide bi-annual progress reports in person to the City’s Development Committee verifying the status of the SUBJECT REALTY’s compliance with the ten (10) conditions and restrictions set forth herein. The APPLICANT shall provide said progress reports until such time that all conditions have been satisfactorily met and the SUBJECT REALTY has been brought into compliance.
11. Within ninety (90) days of the approval of this Ordinance, the APPLICANT shall provide a letter of credit or other financial guarantee acceptable to the City in the amount of no less than one-hundred fifty thousand dollars and no cents (\$150,000.00) for not less than two (2) years, or until all phases of paving are completed and approved by the City for the SUBJECT REALTY, whichever occurs last.

Section 2. That all ordinances and resolutions, or parts thereof, shall, to the extent not expressly modified by the terms and conditions of this Ordinance, remain in full force and effect as therein provided.

Section 3. That this Ordinance shall be in full force and effect ten (10) days from and after its passage, approval and publication in pamphlet form, as provided by law.

PASSED this 18th day of February 2019.

Alderman Beifuss Aye

Alderman Chassee Abst

Alderman Sheahan Aye

Alderman Brown Aye

Alderman Hallett Aye

Alderman Ferguson Aye

Alderman Birch-Ferguson Aye

Alderman Dimas Aye

Alderman Swiatek Aye

Alderman Garling Aye

Alderman Stout Aye

Alderman Short Aye

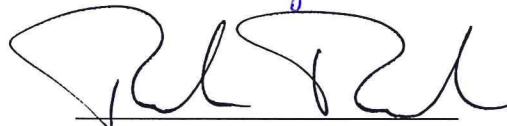
Alderman Ligino-Kubinski Aye

Alderman Gagliardi Abst

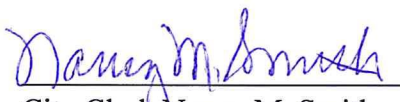
APPROVED as to form:


City Attorney

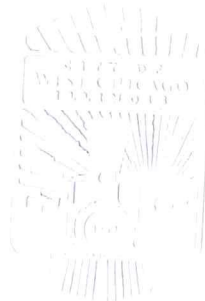
APPROVED THIS 18th day of February 2019.


Mayor Ruben Pineda

ATTEST:


City Clerk Nancy M. Smith

PUBLISHED: 2-19-19



ORDINANCE NO. 24-O-0027

**AN ORDINANCE APPROVING A SIXTH AMENDMENT TO THE
OUTSIDE STORAGE SPECIAL USE FOR 1200 N. PRINCE CROSSING ROAD –
FORMING AMERICA, LTD.**

WHEREAS, on or about August 12, 2024, James Langkamp of Forming America, Ltd. (the “APPLICANT”), filed an application for a sixth amendment to the previously approved special use permit for an outside storage yard for the property located at 1200 North Prince Crossing Road and legally described on Exhibit “A”, which is attached hereto and incorporated herein as the “SUBJECT REALTY”; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the original special use by Ordinance 07-O-0049 on August 20, 2007; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the first amendment to the special use by Ordinance 11-O-0069 on December 19, 2011; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the second amendment to the special use by Ordinance 14-O-0023 on July 21, 2014; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the third amendment to the special use by Ordinance 16-O-0019 on April 18, 2016; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the fourth amendment to the special use by Ordinance 19-O-0003 on February 18, 2019; and,

WHEREAS, the corporate authorities of the City of West Chicago granted the fifth amendment to the special use by Ordinance 23-O-0037 on October 16, 2023; and,

WHEREAS, Notice of Public Hearing on said special use application was published in the Daily Herald on September 19, 2024, as required by the ordinances of the City of West Chicago and the statutes of the State of Illinois; and,

WHEREAS, a Public Hearing was conducted by the Plan Commission/Zoning Board of Appeals of the City of West Chicago, commencing on September 4, 2024, pursuant to said Notice; and,

WHEREAS, at the Public Hearing, the APPLICANT provided testimony in support of his application, and all interested parties had an opportunity to be heard; and,

WHEREAS, the corporate authorities of the City of West Chicago have received the recommendation of the Plan Commission/Zoning Board of Appeals for the special use which contains specific findings of fact, pursuant to Recommendation No. 2024-RC-0008, a copy of which is attached hereto as Exhibit “B” which is, by this reference, incorporated herein.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of West Chicago, DuPage County, Illinois, in regular session assembled, as follows:

Section 1. That a sixth amendment to the special use permit for an outside storage yard in conformance with Section 5.5 and Section 11.2-4(T) of the Zoning Ordinance is hereby granted on the SUBJECT REALTY subject to the following conditions:

1. The site shall be developed in substantial compliance the Site and Phasing Plan consisting of one sheet (Sheet 1 of 1) prepared by Webster McGrath & Ahlberg, Ltd dated July 30, 2024.
2. Phase 3 shall not commence until such time that Special Use Permit authorization is granted and that all engineering has been approved, a site development permit has been issued by the City, and authorization has been received from the DuPage County Stormwater Department.
3. Conditions 1 through 8 and 11 of Section 1 in Ordinance 19-O-0003 shall remain in full force and effect;
4. Condition 2 and 3 of Section 1 in Ordinance 23-O-0037 shall be stricken in their entirety.

Section 2. That all ordinances and resolutions, or parts thereof, shall, to the extent not expressly modified by the terms and conditions of this Ordinance, remain in full force and effect as therein provided.

Section 3. That this Ordinance shall be in full force and effect ten (10) days from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this 16th day of September, 2024.

Alderman D. Beebe	<u>Aye</u>	Alderman L. Chassee	<u>Aye</u>
Alderman J. Sheahan	<u>Aye</u>	Alderman H. Brown	<u>Aye</u>
Alderman A. Hallett	<u>Aye</u>	Alderman C. Dettmann	<u>Aye</u>
Alderman M. Birch-Ferguson	<u>Aye</u>	Alderman S. Dimas	<u>Aye</u>
Alderman J. Smith, Jr.	<u>Aye</u>	Alderman C. Swiatek	<u>Aye</u>
Alderman R. Stout	<u>Aye</u>	Alderman J. Short	<u>Aye</u>
Alderman J. Morano	<u>Aye</u>	Alderman J. Banas	<u>Aye</u>

APPROVED as to form:

Patricia K. Bomp
City Attorney

APPROVED THIS 16th day of September, 2024.

Rubén Pineda

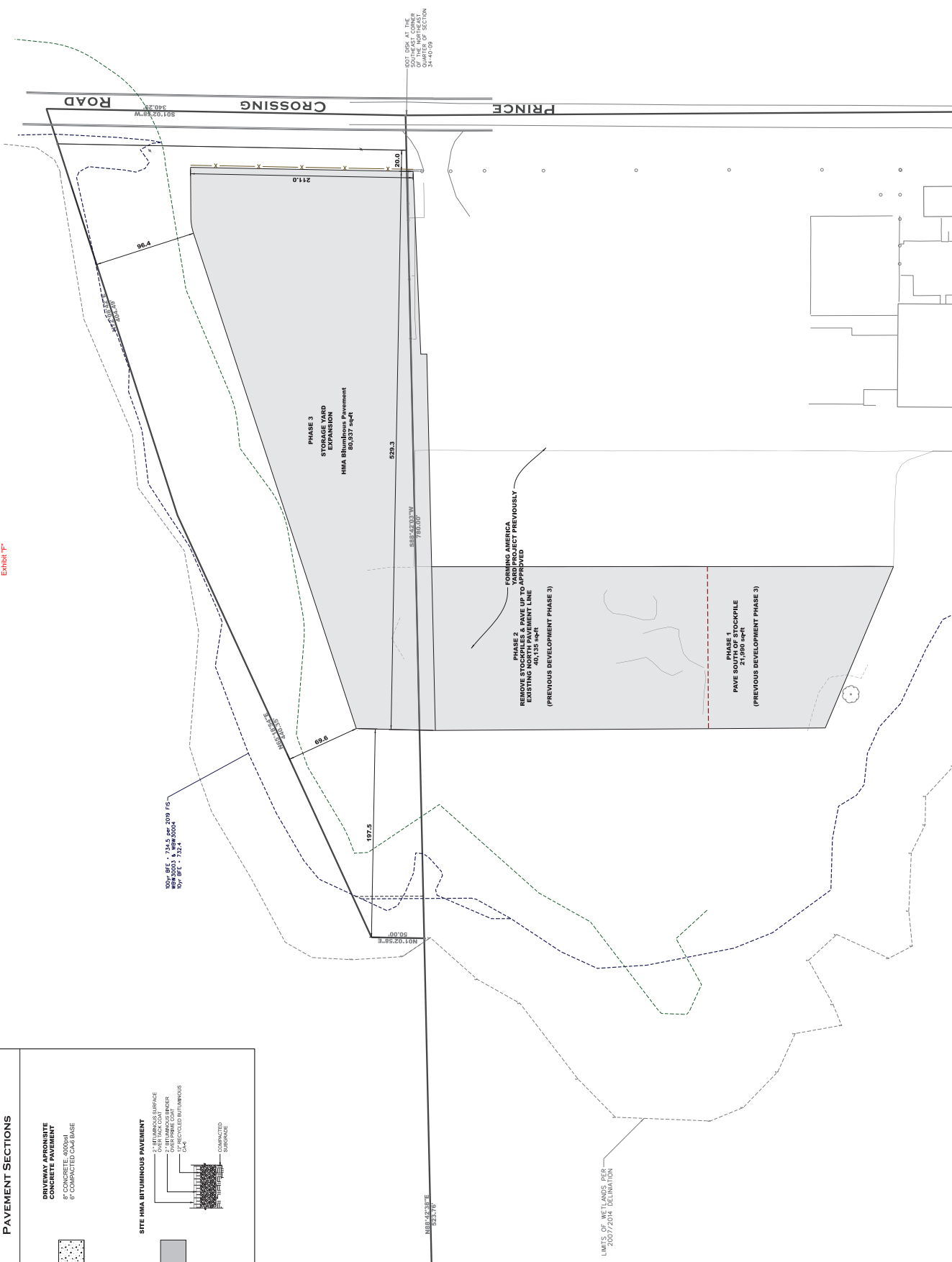
Mayor Ruben Pineda

ATTEST:

Valeria Perez
Executive Office Manager Valeria Perez

PUBLISHED: 9-17-2024





REV	DATE	REVISION DESCRIPTION	BY	PLS
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WEBSER, MCGRATH & AHLBERG, LTD.

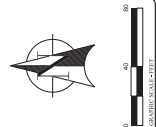
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FORMING AMERICA
NORTHERN TRIANGLE PARCEL IMPROVEMENTS



PAVING & LAYOUT



Forming America

WMA

Section: Assembly Range
 DuPage: E/A 34-4014-09E

SHEET#
L-1



THE PROJECT ID: 3400050a70a9f03a08f8f920704f40CEU4422. North Timgla Payment app. Model: L.A. Date: 8/7/2024.

Delaware County by December 31 of each year during the five standards are met and signed off as achieved. The annual report will



**Forest Preserve District
of DuPage County**

Exhibit "H"

35580 Naperville Road
Wheaton, IL 60189

630.933.7200
TTY 800.526.0857
dupageforest.org

Via email: Jsterrett@westchicago.org

May 6, 2025

Barbara Laimins, Chairperson
Plan Commission / Zoning Board of Appeals
City of West Chicago
475 Main Street
West Chicago, IL 60185

Re: Public Hearing Case # PC 25-11 / Forming America LLC
1200 N. Prince Crossing Road, West Chicago
PIN #: 01-34-202-019

Dear Chairperson Lamins,

The Forest Preserve District of DuPage County recently received a Notice of Public Hearing regarding Forming America LLC's Petition for approval of a Special Use Permit to allow outside storage ancillary to the existed permitted use of manufacturing on the property located at the aforementioned address. We appreciate receiving timely notification of such requests that may have an impact on Forest Preserve District property and thank you for the opportunity to comment.

Numerous studies have documented that light pollution and artificial light at night have negative and deadly effects on amphibians, birds, mammals, insects and plants. Newer installations of lighting in nearby communities have adopted recommendations as set forth by the International Dark Sky Association and Dark Sky Society. Where applicable, we request that full cutoff shields be required on lighting installations and 0.1 foot-candle limits at property lines to protect our plant and animal neighbors.

We ask the developer to refrain from using asphalt sealants that contain coal tar products. There has been substantial research examining the environmental impact of these products on natural ecosystems. Coal tar sealants contain Polycyclic Aromatic Hydrocarbons (PAHs) which pose adverse threats to aquatic organisms, plants, and humans when subjected to long-term exposure. The DuPage County Environmental Committee has urged communities to prevent the use of coal tar in DuPage County. Less detrimental and more environmentally safe alternatives to coal tar products exist.

Thank you for your consideration of our comments. If you have any questions, please feel free to call me at (630) 933-7235.

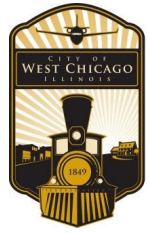
Sincerely,

A handwritten signature in black ink, appearing to read "Kevin Stough".

Kevin Stough
Land Preservation Manager

cc: Karie Friling, Executive Director
Jessica Ortega, Strategic Plan & Initiatives Manager

City of West Chicago
Community Development Department
Report to the Plan Commission/Zoning Board of Appeals
June 3, 2025



Case: PC 25-12
Petitioner: City of West Chicago
Request: Proposed Zoning Text Amendment to Article VI (Zoning Districts Generally) of Appendix A (the Zoning Code) of the Code of Ordinances of the City of West Chicago.
Summary: The purpose of the Zoning Text Amendment would create a Section 6.30 to allow the keeping of chickens with certain restrictions on properties used for single-family residential.

Recommendation: Staff recommends the Plan Commission pass a motion recommending **approval** of the proposed Zoning Text Amendment.

Background.

At their April 21, 2025 meeting, the Public Affairs Committee discussed the concept of allowing chickens to be kept on property used as single-family residential. The members of the Public Affairs Committee were in favor of the concept and instructed staff to prepare a Zoning Text Amendment to permit this use. Staff researched the regulations of seven nearby communities who allow chickens on residential properties. Staff drafted the following regulations for consideration by the Plan Commission, which the members of the Public Affairs Committee were generally in favor of when discussed at their April meeting:

- Limited to single-family detached residences only with a minimum lot size of 6,500 square feet (*this is the minimum lot size for a single-family residence*).
- No more than 6 hens.
- Roosters are prohibited.
- A chicken coop shall be required with a minimum setback of 10 feet from all lot lines and a minimum size of 6 square feet per chicken. Chicken coops shall only be permitted in the rear yard.
- All feed shall be maintained in rodent-proof containers.
- No slaughtering is permitted.
- No sales of eggs or chickens permitted.
- No other poultry, livestock, or other farm type animals permitted.

The full proposed text amendment to the Zoning Code can be found attached to this report.

Public Notice.

A notice of public hearing for the proposed Zoning Text Amendment was published in the May 19, 2025 edition of the Daily Herald, in accordance with Section 5.6-2(B) of the West Chicago Zoning Code.

For questions, please contact John H. Sterrett, City Planner (630) 293-2200 ext. 158 or at jsterrett@westchicago.org.

**Proposed Text Amendments to Appendix A (Zoning Code)
of the Code of Ordinances of the City of West Chicago
Chickens on Residential Properties**

Plan Commission/Zoning Board of Appeals
Public Hearing
June 3, 2025

Underline = New Text; ~~Strikethrough~~ = Deleted Text

ARTICLE VI
Zoning Districts Generally

- 1. Amend Article VI (Zoning Districts, Generally) to add a Section 6.30 for the keeping of chickens on properties used for single-family residential, with regulations.**

Section 6.30 Chickens on Residential Property

The keeping of chickens shall be permitted on all properties used as a single-family residential dwelling that are at least 6,500 square feet in area, subject to the following conditions:

- (A) No more than 6 hens are permitted to be kept on a single zoning lot at any given time.
- (B) Roosters are prohibited.
- (C) A chicken coop shall be required with a minimum setback of 10 feet from all property lines and a minimum size of 6 square feet per chicken. Chicken coops shall only be permitted in the rear yard.
- (D) All feed shall be maintained in rodent-proof containers.
- (E) No slaughtering is permitted.
- (F) No sales of eggs or chickens is permitted.
- (G) No other poultry, livestock, or other farm type animals are permitted.

Residential Chickens in Surrounding Communities

Municipality	Permitted?	Maximum Number	Minimum Lot Size (square feet)	Permit Required?	Minimum Coop Size	Coop/Enclosure Setback Requirement
Bartlett	Yes	4	6,000	Yes	6 square feet/chicken	10' from all lot lines
Batavia	Yes	8	5,000	Yes	N/A	30' from nearest occupied structure (other than owner's)
Liste	Yes	4	10,000	Yes	N/A	10' from all property lines
Lombard	Yes	6	7,500	No	4 square feet/chicken	10' from all lot lines
St. Charles	Yes	6	6,600	No	N/A	5' from all lot lines
Warrenville	Yes	10	10,000	No	N/A	20' from side lot lines and 3' from rear lot line
Wayne	Yes	6	8,000	No	N/A	25' from side lot lines and 40' from rear lot line
Carol Stream	No					
Geneva	No					
Glen Ellyn	No					
North Aurora	No					
South Elgin	No					
Wheaton	No					
Winfield	No					